

**REPORT TO THE BOARD OF TRUSTEES  
FROM THE  
ZONING BOARD OF APPEALS**

**Recommendation:** The Zoning Board of Appeals recommends granting a special use for an Adaptive Reuse Senior Housing/55+ Development, a 0.57 floor area ratio variation, a 9.29' front yard setback variation, a 9.26' west side yard setback variation, a 6.74' west side yard stair setback variation, a west side yard deck setback variation, a 9.93' height variation, an 8.77' parapet height variation, a 0.65' elevator housing height variation, a 6.03' air conditioner condenser height variation, a 2.15' rear yard (north) parking space setback variation, a 1,284 square foot (29.8%) rear yard total impervious surface coverage variation, a 2,574 square foot (59.8%) rear yard pavement impervious surface coverage variation, and a variation from the requirement that 50% of the required parking space be enclosed to permit the modification of the existing building into a 16-unit apartment development and associated site improvements in accordance with the plans submitted at 1010 Central. The use shall run with the use.

**Case Number:** 2020-Z-20

**Property:** 1010 Central Avenue

**Zoning District:** R2, Attached Residence

**Applicant:** Chris Talsma, Filoramo Talsma LLC

**Nature of Application:** Request for a special use for an Adaptive Reuse Senior Housing/55+ Development, a 0.57 floor area ratio variation, a 9.29' front yard setback variation, a 9.26' west side yard setback variation, a 6.74' west side yard stair setback variation, a west side yard deck setback variation, a 9.93' height variation, an 8.77' parapet height variation, a 0.65' elevator housing height variation, a 6.03' air conditioner condenser height variation, a 2.15' rear yard (north) parking space setback variation, a 1,284 square foot (29.8%) rear yard total impervious surface coverage variation, a 2,574 square foot (59.8%) rear yard pavement impervious surface coverage variation, and a variation from the requirement that 50% of the required parking space be enclosed to permit the modification of the existing building into a 16-unit apartment development and associated site improvements

Applicable Provisions of  
the Zoning Ordinance:

Section 2.4	Section 8.3.E
Section 5.3	Section 13.5.A
Section 5.4	Section 13.5.C
Section 8.2	Section 14.4.A.4
Section 8.3	Section 14.4.A.7

Hearing Date:

August 5, 2020

Date of Application:

April 9, 2020

Planning Board Vote:

Chairman Reinhard Schneider	Yes
Brad Falkof	Yes
John Kolleng	Yes
Christine Norrick	Not Present
Ryrie Pellaton	Yes
Bob Surman	Yes
Maria Choca Urban	Not Present

Notices:

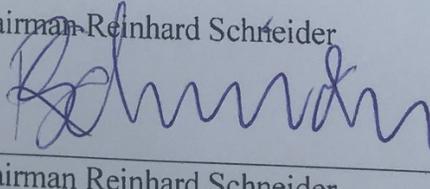
Notice of public hearing to the applicant, July 14, 2020.  
Notice of public hearing published in The Wilmette Life, July 16, 2020. Posted on the property, July 17, 2020. Affidavit of compliance with notice requirements dated July 17, 2020.

Report Prepared By:

Lisa Roberts, AICP  
Assistant Director of Community Development  
Minutes transcribed by Alexa Markoff Zerevitz

Report Approved and  
Submitted By:

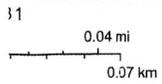
Chairman Reinhard Schneider



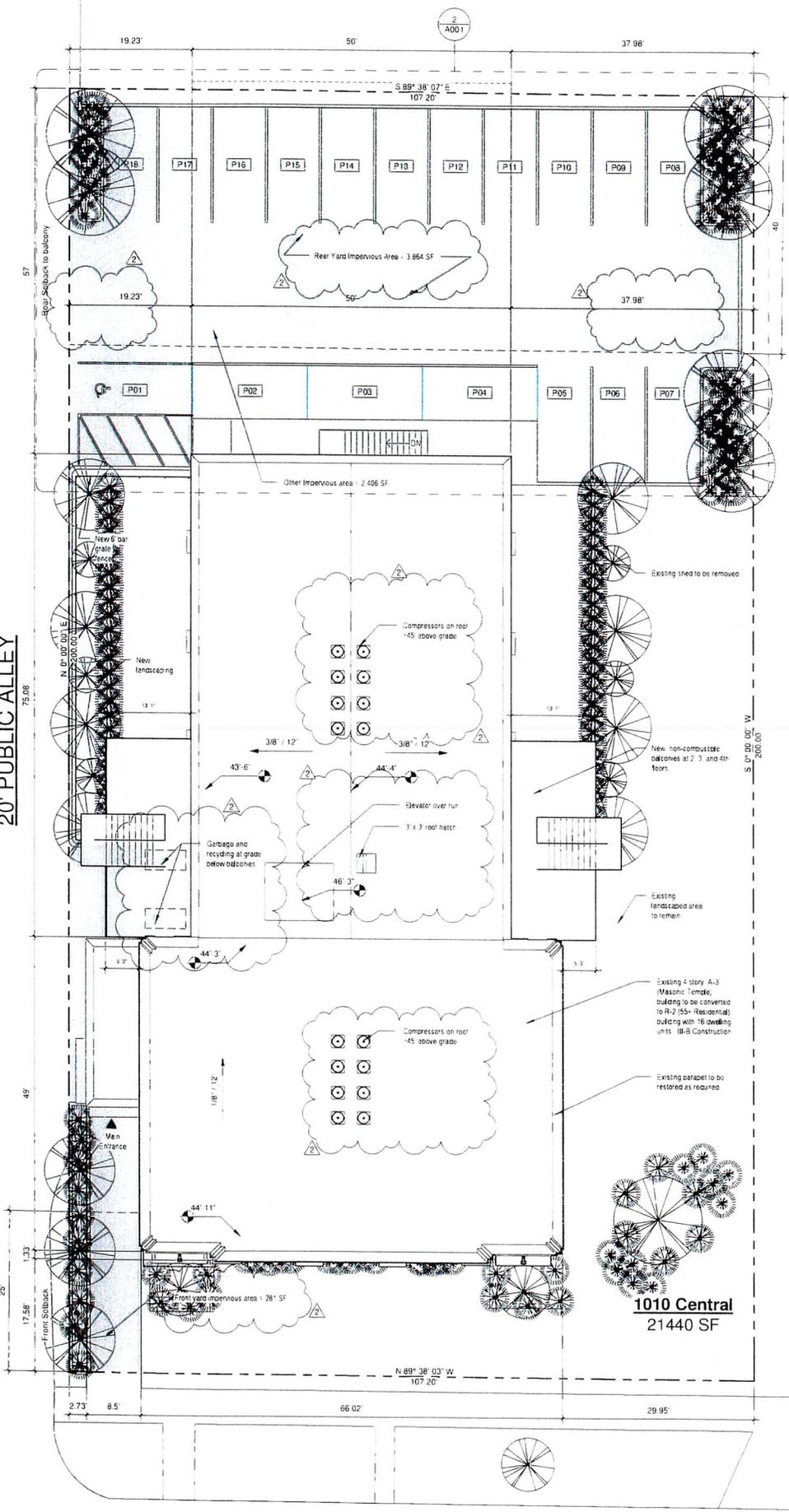
Chairman Reinhard Schneider

Date

8/17/20



20' PUBLIC ALLEY



Area Schedule (Gross Building)	
Name	Area
First Floor	7048 SF
Entry	96 SF
Second Floor	3585 SF
Third Floor	6871 SF
Fourth Floor	3684 SF
<b>Total</b>	<b>21284 SF</b>

3/17/20/20 Issued for Appearance Review Commission  
 7/10/20/20 Issued for ZBA clarifications  
 1/10/21/20 Issued for ZBA

#	Date	Description
ISSUE DATES		

**FILORAMO TALSMAN**  
 ARCHITECTS

1755 N. Elston Ave. #226 Chicago, IL 60642 info@filoramotalsman.com

These drawings are the property of FILORAMO TALSMAN. No use or reproduction of these drawings is permitted in any form or manner whatsoever without the prior written consent of FILORAMO TALSMAN. Do not scale drawings. Written dimensions prevail over scale. These drawings may have been reproduced or altered without the prior written consent of the Owner and Architect as shown on responses to the last of contract scale.

Draw Date: 7/28/2020 4:14:00 PM  
 Project Name: Masonic Temple Residences  
 1010 Central Ave

Date:

CENTRAL AVENUE

1.4

**STAFF INFORMATION AS PRESENTED TO THE ZONING BOARD OF APPEALS**

**Description of Property**

The Subject Property is located on the north side of Central Avenue approximately 106' west of 10<sup>th</sup> Street. The property has 107.5' of frontage on Central Avenue and is 200.0' in depth. The property is 21,500 square feet in area and improved with a four-story building and unimproved parking lot. The building was built in 1925-1926 and, until recently, was owned and occupied by the Wilmette Masonic Lodge.

To the east is a property zoned R2, Attached Residence, and improved with three townhouse units. To the north, west, and south are properties zoned R2, Attached Residence, and improved with single-family homes.

**Proposal**

The petitioner is proposing to re-purpose and remodel the building for 14 apartment units for those aged 55 years and over. The building was constructed in 1925 as the Wilmette Masonic Lodge. The Masons occupied the building and used it as a private club as well as for private functions until mid-2019.

The Adaptive Reuse Senior Housing/55+ special use was created to allow for the preservation and re-use of institutional buildings. Because the Zoning Ordinance defines this as a special use in the R2, Attached Residence zoning district, special use approval is necessary.

Modifications to the building consist of changing window openings and adding exterior metal decks and exterior stairs on the east and west side of the building. On the west side of the building, the stair is proposed with a 2.26' side yard setback. Because the Zoning Ordinance requires a 9.0' side yard stair setback, a 6.74' west side yard stair setback variation is required. The decks are proposed with a 6.26' side yard setback. Because the Zoning Ordinance requires a 10.0' deck setback, a 3.74' west side yard deck setback variation is required. The existing building in combination with the new decks results in a floor area ratio of 1.37 (29,395 square feet). Because the Zoning Ordinance limits the floor area ratio to 0.8 (17,200 square feet), a 0.57 floor area variation is required.

A new elevator is proposed with a housing height of 46.35'. Because the Zoning Ordinance limits the height of elevator housing to 47.0', a 0.65' elevator housing height variation is required.

The air conditioning units for each dwelling unit will be located on the roof. The units have a height of 47.03'. Because the Zoning Ordinance limits the height of mechanical equipment to 41.0', a 6.03' air conditioner condenser height variation is required.

The existing parking area to the north of the building will be improved with required curbing and conforming stripping. The project requires 16 parking spaces and 18 are proposed. The parking spaces are proposed with a 2.85' north rear yard setback. Because the Zoning Ordinance requires a 5.0' rear yard setback, a 2.15' rear yard (north) parking space setback variation is required.

The improved parking lot will result in a rear yard total impervious surface coverage of 3,864.0

square feet. Because the Zoning Ordinance limits rear yard total impervious surface coverage to 2,580.0 square feet, a 1,284 square foot (29.8%) rear yard total impervious surface coverage variation is required. Because the Zoning Ordinance limits rear yard pavement impervious surface coverage to 1,290.0 square feet, a 2,574 square foot (59.8%) rear yard pavement impervious surface coverage variation is required.

All of the required parking for the building will be in the open rear parking lot. Because the Zoning Ordinance requires that at least 50% of the required parking for multi-family dwellings be enclosed in either the principal structure or in a detached garage, a variation from this requirement is necessary.

Because the property is converting to a new use, relief is required for existing non-conforming conditions that are not proposed to be eliminated or made conforming with the construction project. The existing building is non-conforming in front yard setback, west side yard setback, overall building height, and parapet height. Because the Zoning Ordinance requires a 27.0' front yard setback and the existing building has a front yard setback of 17.71', a 9.29' front yard setback variation is required. Because the Zoning Ordinance requires a 12.0' side yard setback and the existing building has a west side yard setback of 2.74', a 9.26' west side yard setback variation is required. Because the Zoning Ordinance limits height to 35.0' and the existing building has a roof height of 44.93', a 9.93' height variation is required. Because the Zoning Ordinance limits parapet height to 37.0', an 8.77' parapet height variation is required.

The building exterior, landscaping, and any signage will require review and approval by the Appearance Review Commission.

<b><u>Floor Area</u></b>	<b><u>Maximum</u></b>	<b><u>Existing</u></b>	<b><u>Proposed</u></b>
Ratio (square footage)	0.8 (17,200 s.f.)	1.24 (26,724 s.f.)*	1.37 (29,395 s.f.)*

<b><u>Setback Requirement</u></b>	<b><u>Required</u></b>	<b><u>Existing</u></b>	<b><u>Proposed</u></b>
Front Yard Setback	27.0'	17.71'*	17.71'*
(West) Side Yard Setback	12.0'	2.74'*	2.74'*
Rear (North) Parking Setback	5.0'	unknown	2.85'*
West Side Yard – Stairs	9.0'	NA	2.26'*
West Side Yard – Decks	10.0'	NA	6.26'*

<b><u>Height Requirement</u></b>	<b><u>Maximum</u></b>	<b><u>Existing</u></b>	<b><u>Proposed</u></b>
Principal Structure Height	35.0'	44.93'*	44.93'*
Parapet Encroachment	37.0'	45.77'*	45.77'*
Elevator Encroachment	47.0'	unknown	46.35'*
Mechanical Encroachment	41.0'	NA	47.03'*

\* Non-conforming

**Site Plan Review Committee Comments**

The Site Plan Review Committee had the following comments on the application. These are provided for reference and do not require any action by the Zoning Board of Appeals.

1. Storm water best management practices shall be incorporated into the site plan.
2. The following permits shall be obtained prior to construction: grading, right-of-way, dumpster, and MWRDGC (if applicable).
3. Provide a maintenance plan for the proposed storm water improvements.
4. A soil erosion control plan shall be submitted for approval prior to construction.
5. All utilities must follow Village of Wilmette standards.
6. Concrete curbing no less than 6 inches in height is required along the perimeter of all parking lots with more than 4 spaces.
7. Handicapped parking spaces must be provided, striped and signed in accordance with the Illinois Accessibility Code.
8. Please submit a photometric plan for exterior lighting. Lighting may not exceed 0.5 foot candles at any lot line.
9. The proposed improvements are subject to review and approval by the Appearance Review Commission.
10. Native planting materials are strongly encouraged.
11. No ash trees should be planted on either the parkway or private property.
12. New air conditioning and ventilation equipment must be a minimum of 10' from side and rear property lines and may not exceed 50 decibels between 7:00 a.m. and 7:00 p.m. and 45 decibels between 7:00 p.m. and 7:00 a.m. at receiving lot lines.

**Other Requests at the Subject Property**

1010 Central Avenue                      Case 1999-Z-08                      ZBA: Grant                      VB: Granted  
Request for a special use to operate an architect's office out of a lawfully established institutional use

1010 Central Avenue                      Case 1996-Z-54                      ZBA: Grant                      VB: Granted  
Request for a special use to allow parking on a lot not located on the same lot as the use being served

**Other Adaptive Reuse Senior Housing/55+ Special Use Requests**

1041 Ridge Road                      Case 2004-Z-63                      ZBA: Grant                      VB: Granted  
Request for an adaptive reuse senior housing special use, a special use to allow a parking lot not located on the same lot as the use served by the parking lot, a 33' height variation to permit dormers on the courtyard side of the building, a 10' height variation to permit balconies on the courtyard side of the building, a 5.5' fence height and 1' column width variation to permit the construction of a masonry wall to screen the utility/service areas, a 9 space parking variation and numerous lot-related variations to allow the rehabilitation of an existing legal nonconforming institutional structure for the purpose of senior housing and the construction of a surface parking lot and underground parking garage on the property at 1041 Ridge Road

**Other Non-Single-Family Height Encroachment Requests**

1100 Laramie Avenue      Case 2020-Z-08      ZBA: Grant      VB: Pending

Request for an expansion of a special use (educational facility, secondary), a 3.0' height variation (lobby and east roof), a 4.5' parapet height variation (lobby and east roof), an 11.0' height variation (theater), an 11.5' parapet height variation (theater), a 37.0' height variation (fly tower), a 38.5' parapet height variation, a 7.0' light pole height variation, and a 2.0' aisle width variation to permit the construction of a theater addition and associated site improvements

911 Michigan Avenue      Case 2012-Z-05      ZBA: Grant      VB: Granted

Request for a special use to expand an existing special use (club) and a 23,533.26 square foot (28.12%) total floor area variation to allow the construction of a two-story addition and a three-story addition, a 10.0' elevator height variation to permit the installation of an elevator, and a 12.0' stairway height variation to permit the installation of an enclosed stairway on the legal non-conforming structure

100 Linden Avenue      Case 2008-Z-28      ZBA: Grant      VB: Granted

Request for an expansion of a special use for place of worship, a 5' side yard setback variation, a 7' front yard window well setback variation, a 16' side yard pergola setback variation, a 2' accessory structure height variation, a 5' elevator height variation, and a fence openness variation to permit the construction of a new two-story visitors' center and a 20' front yard stair setback variation to permit the replacement of garden steps

**Other Non-Single-Family Parking-Related Requests**

1100 Laramie Avenue      Case 2020-Z-08      ZBA: Grant      VB: Pending

Request for an expansion of a special use (educational facility, secondary), a 3.0' height variation (lobby and east roof), a 4.5' parapet height variation (lobby and east roof), an 11.0' height variation (theater), an 11.5' parapet height variation (theater), a 37.0' height variation (fly tower), a 38.5' parapet height variation, a 7.0' light pole height variation, and a 2.0' aisle width variation to permit the construction of a theater addition and associated site improvements

1101 Dartmouth Street      Case 2019-Z-01      ZBA: Deny      VB: Granted

Request for an expansion of a special use (educational facility, primary) and a 3 space parking variation to permit an addition to the existing building

2601 Old Glenview Road      Case 2018-Z-41      ZBA: Grant      VB: Granted

Request for a 17.5' front yard parking space setback variation to permit the expansion of a parking lot

1020 Forest Avenue      Case 2017-Z-65      ZBA: Grant      VB: Granted

Request for a special use for an adult day care center and a 17 space parking variation to permit the operation of Our Place adult day care

3555 Lake Avenue      Case 2017-Z-49      ZBA: Grant      VB: Granted

Request for a special use to expand an existing special use (park/playground), a special use to expand an existing special use (recreation center), a 1.0' accessory structure height variation, a 6.0' light pole

height variation, and a 4 space parking variation to permit the construction of two lighted paddle tennis courts

808 Linden Avenue                      Case 2017-Z-31                      ZBA: Grant                      VB: Granted

Revised request for the expansion of a special use (educational facility, primary), a 7,214.2 square foot (10.3%) floor area variation, a 12.08' side yard setback variation, a 26.11% side yard impervious surface coverage variation, a 32.0' rear yard playground equipment setback variation, an 18.25' rear yard step setback variation, a 1.0' rear yard step setback variation, and a 5.0' side yard parking space setback to permit the construction of a two-story addition on the legal non-conforming structure (St. Francis School)

### **Other Non-Single-Family Impervious Surface Coverage Requests**

514 Poplar Drive                      Case 2018-Z-27                      ZBA: Grant                      VB: Granted

Request for a 440 square foot lot area variation, a 20.0' front yard setback variation, a 4.0' south side yard setback variation, a 6.44' combined side yard setback variation, a 0.07 floor area ratio (848.76 square foot) variation, a 27% front yard impervious surface coverage variation, a 5.7% rear yard total impervious surface coverage variation, a 4.6% rear yard pavement impervious surface coverage variation, a 7.0' side yard garage setback variation, a 16.5' front yard eave setback variation, a 3.0' side yard eave setback variation, a 1.0' combined side yard eave setback variation, a 17.0' front yard window well setback variation, a 12.5' front yard porch setback variation, an 11.0' front yard porch step setback variation, a 2.0' side yard deck setback variation, and a 5.5' side yard garage eave setback variation to permit the construction of a 4-unit townhouse development with 4 two-car detached garages

2904 Old Glenview Road                      Case 2011-Z-51                      ZBA: Grant                      VB: Granted

Request for a special use for a place of worship, a 20.0' side yard setback variation, a 9.08' side yard adjoining a street setback variation, a 27.54' rear yard setback variation, a 25.0' front yard parking space setback variation, a 20.0' side yard adjoining a street parking space setback variation, a 5.0' side yard parking space setback variation, a 60 parking space variation, an 875 square foot (70%) front yard impervious surface coverage variation, a 655.0 square foot (38.89%) side yard adjoining a street impervious surface coverage variation, a 490.0 square foot (40%) side yard impervious surface coverage variation, a 402.0 square foot (33.5%) rear yard total impervious surface coverage variation, and a 417.0 square foot (34.75%) rear yard structure impervious surface coverage variation on Lot 3 and a special use for a place of worship, a 20.0' side yard setback variation, a 16.42' rear yard setback variation, a 468.4 square foot (40%) side yard impervious surface coverage variation, a 905.0 square foot (39.78%) rear yard total impervious surface coverage variation, a 688.75 square foot (30.27%) rear yard structure impervious surface coverage variation, and a 102.5 square foot (4.51%) rear yard pavement impervious surface coverage variation on Lot "A" to permit the construction of a new place of worship building

### **Zoning Ordinance Provisions Involved**

Section 2.4 defines Adaptive Reuse Senior Housing/55+ as "a multi-family dwelling, occupancy of which is limited to persons fifty-five (55) years of age or older (or, if two persons occupy a unit, at least one (1) shall be fifty-five (55) years of age or older), using a structure previously occupied as a lawfully established or legal non-conforming institutional or adaptive reuse senior housing use."

Section 5.3 outlines the special use procedures.

Section 5.4 outlines the variation procedures.

Section 8.2 references Table 8-1, which establishes Adaptive Reuse Senior Housing/55+ Development as a special use in the R2 zoning district.

Section 8.3 references Table 8-2, which establishes a front yard setback of 27.0', a side yard setback of 12.0', a maximum floor area ratio of 0.8, and a maximum building height of 35.0' on the Subject Property.

Section 8.3.E establishes a maximum rear yard pavement impervious surface coverage of 1,290.0 square feet (30%) and a maximum rear yard total impervious surface coverage of 2,580.0 square feet (60%) on the Subject Property.

Section 13.5.A references Table 13-2, which establishes that steps may encroach no more than 3.0' into a required interior side yard and decks above 2' above grade may encroach no more 2.0' into a required interior side yard.

Section 13.5.C limits the height encroachment of heating and air conditioning equipment to 6.0' above the height limit, elevator and stairway housings to 12.0' above the height limit, and parapets to 2.0' above the height limit.

Section 14.4.A.4 states that for residential uses, open parking spaces must maintain a minimum of 5' from side and rear lot lines.

Section 14.4.A.7 requires that at least 50% of all parking spaces required for a multi-family dwelling must be enclosed within the principal building or within a detached garage on the subject property.

### **Action Required**

Move to recommend granting a request for a special use for an Adaptive Reuse Senior Housing/55+ Development, a 0.57 floor area ratio variation, a 9.29' front yard setback variation, a 9.26' west side yard setback variation, a 6.74' west side yard stair setback variation, a 3.74' west side yard deck setback variation, a 9.93' height variation, an 8.77' parapet height variation, a 0.65' elevator housing height variation, a 6.03' air conditioner condenser height variation, a 2.15' rear yard (north) parking space setback variation, a 1,284 square foot (29.8%) rear yard total impervious surface coverage variation, a 2,574 square foot (59.8%) rear yard pavement impervious surface coverage variation, and a variation from the requirement that 50% of the required parking space be enclosed to permit the modification of the existing building into a 16-unit apartment development and associated site improvements at 1010 Central Avenue in accordance with the plans submitted. The Zoning Board must determine if the special use should run with the land or the use.

(After the vote on the request)

Move to authorize the Chairman to prepare the report and recommendation for the Zoning Board of Appeals for case number 2020-Z-20.

**CASE FILE DOCUMENTS**

<u>Doc. No.</u>	<u>Documents</u>
<b>Location Maps And Plans</b>	
1.0	Zoning Map
1.1	GIS Map
1.2	Sidwell Tax Map
1.3	Plat of Survey
1.4	Site Plan
1.5	Parking Lot Plan
1.6	Basement and First Floor Demolition Plan
1.7	Second Floor Demolition Plan
1.8	Third Floor Demolition Plan
1.9	Fourth Floor Demolition Plan
1.10	Unit Layout and Egress Plans
1.11	Basement and Foundation Plan
1.12	First Floor Plan
1.13	Second Floor Plan
1.14	Third Floor Plan
1.15	Fourth Floor Plan
1.16	Roof Plan
1.17	South Elevation
1.18	East Elevation
1.19	West Elevation
1.20	North Elevation
1.21	East/West Section 1 and Balcony Detail
1.22	East/West Section 2
1.23	East/West Section 3
1.24	North/South Section
1.25	Landscape Plan
1.26	South Elevation Rendering
1.27	East Elevation Rendering
1.28	West Elevation Rendering
1.29	North Elevation Rendering

**Written Correspondence and Documentation**

2.0	Completed application form
2.1	Letters of application
2.2	Proof of ownership
2.3	Notice of Public Hearing as prepared for the petitioner, July 14, 2020
2.4	Notice of Public Hearing as published in <u>The Wilmette Life</u> , July 16, 2020
2.5	Certificate of publication
2.6	Certificate of posting, dated July 17, 2020

- 2.7 Affidavit of compliance with notice requirements, filed by applicant, July 17, 2020
- 2.8 Parking Study by Benesch dated July 1, 2020
- 2.9 Email from Mark Teasdale, 1004 Central Avenue, dated July 14, 2020

**3.0 TESTIMONY, COMMENTS, AND ARGUMENTS ON BEHALF OF THE APPLICANT**

**3.1 Persons appearing for the applicant**

- 3.11 Mr. Steve Blonsky, ownership group
- 3.12 Mr. Chris Talsma, architect  
Filoramo and Talsma Architecture

**3.2 Summary of presentations**

- 3.21 Ms. Roberts said that this is a request for a special use for an Adaptive Reuse Senior Housing/55+ Development, a 0.57 floor area ratio variation, a 9.29' front yard setback variation, a 9.26' west side yard setback variation, a 6.74' west side yard stair setback variation, a west side yard deck setback variation, a 9.93' height variation, an 8.77' parapet height variation, a 0.65' elevator housing height variation, a 6.03' air conditioner condenser height variation, a 2.15' rear yard (north) parking space setback variation, a 1,284 square foot (29.8%) rear yard total impervious surface coverage variation, a 2,574 square foot (59.8%) rear yard pavement impervious surface coverage variation, and a variation from the requirement that 50% of the required parking space be enclosed to permit the modification of the existing building into a 16-unit apartment development and associated site improvements. The Village Board will hear this case on August 25, 2020.
- 3.22 Mr. Blonsky said they bought the Masonic Lodge about two months ago. Their plans are to convert it into a 16-unit 55+ senior development. They plan to gut the interior down to the studs and rebuild the interior. On the exterior, they are trying not to do too much. There are no modifications to the front façade facing Central. On the other sides of the building, they will create window openings added to make the units functional, as well as decks and stairs on the east and west sides for all units. The existing structure does not conform with the zoning district. Besides the decks, there are really no modifications made to the exterior, itself.
- 3.23 Mr. Surman asked about other projects that the applicant has done that are similar.  
  
Mr. Blonsky said he was involved with the group that did 1121 Greenleaf about two years ago. He has worked on a number of rehab projects in the city.
- 3.24 Mr. Falkof said that the building is for 55+ individuals, what is that by definition. Is it a retired couple with a lot of extra bedrooms or could a family move in?

Mr. Blonsky said that one of the residents must be 55 or older. These are rental units. They are three-bedroom, two bath units. They want to market to families. At their other project, there were a lot of people who lived in the area for a long time and sold their house but want to stay local. This is a great option for them.

3.25 Mr. Kolleng asked how many units per floor.

Mr. Blonsky said there are four units per floor.

3.26 Chairman Schneider referenced the plans that the board received. They were reduced to 11 x 8.5 so they are not that clear. Are these the final plans?

Mr. Talsma said they are final from a unit layout. They are in construction documents right now. There could be some minor adjustments. They are 95% complete.

3.27 Chairman Schneider asked if they are closing the front entrance.

Mr. Blonsky said that there are two entrances. There is one that is set back a little further and there is one on the front façade. There is a small bay on the west side, which is the alley side.

3.28 Chairman Schneider referenced 1.17.

Mr. Talsma said that the simple answer is yes, but there are two front entrances. One they are maintaining and one they are closing.

Mr. Blonsky said there is an entrance on the west side that is set back off of the front façade. That will be the main entrance. It is a covered entrance. He referenced exhibit 1.3, the plat of survey; it shows what he was describing. The two entrances on the front façade will be closed and the only entrance is on the west side, recessed from the façade. This is on the alley.

3.29 Chairman Schneider said that the building code inspectors have to approve this. There was reference there would be stairs on the north side.

Mr. Blonsky said they appeared before the ARC at the end of June. They presented new designs in response to comments at that meeting. The original drawings had an egress stair at the north. But in response to ARC comments, they came up with alternate designs, which had two exit stairs, one on the east and one on the west.

3.30 Chairman Schneider asked about exit stairs on resident floors. Are they accessed through sliding doors?

Mr. Blonsky said that each unit has its own deck for outdoor space. There are four decks per floor. The two units that are side by side have access to the stair that takes them out. This is an egress stair for occupants.

- 3.31 Chairman Schneider said they are asking for a side yard setback variation on the west side. Why does the deck need to be that deep?

Mr. Talsma said that the very nature of the building makes is non-conforming. There is a part of the building on the west side that does encroach into that setback. Without the decks, they would have to seek that variation. The entry lobby is also too close to the west side lot line. Because of some of the current openings on the building – four large two story openings – at grade that they will be maintained. To try to get the stair to fit some place that does not obstruct the openings leaves them with only a few location options. They are trying to position the stair in a way that stays out of the window as much as possible. The code minimums for the stairs dictated those dimensions. They are no larger than they need to be. They would like to make them smaller, but they need to be a certain size to be a second means of egress.

- 3.32 Chairman Schneider noted they are asking for a setback on the north edge for parking. It is normally 5’ to the curb and they are asking for a 2’ variation. Is that because they need the minimum space between the north parking spaces and the south?

Mr. Talsma said those are the minimum dimensions that qualify for parking. They made it as small as possible while providing the needed parking.

- 3.33 Mr. Surman asked how is it that they only have one internal stair.

Mr. Talsma said that they can do an exterior stair as a second means of access.

- 3.34 Mr. Surman asked if the stairs had to be enclosed.

Mr. Talsma said no.

- 3.35 Mr. Surman said it is very similar to a fire escape.

Mr. Talsma said that there are limits. This could not be done on a high rise. This building is short enough that they can get away with it.

- 3.36 Mr. Surman said he saw on IBC that the stair had to be protected. It could not be an area where snow and ice could accumulate.

Mr. Talsma said that 90% of his work is in Chicago. His general perspective is Chicago code. He will get more familiar with IBC. They did submit an initial plan to Scott Berg with the outdoor stairs. Enclosing them was not an issue that he raised. They brought the design to Mr. Berg early in the process.

- 3.37 Mr. Surman said that typically any space, even with the Chicago building code, any space over a certain area has to be enclosed. He has done high rises and not a low rise. He knows that these are architectural issues, but they impact the variance on the west side. He saw a lot of other things that were not code related in Chicago. Are they required to have area refuge?

Mr. Talsma said that there is one in there.

3.38 Mr. Surman said it is not ADA compliant.

Mr. Talsma said they are ADA complaint.

3.39 Mr. Surman said they will have to agree to disagree because they are not ADA compliant. You can't have the doors swinging into the landings. These are architectural issues. He is concerned about the stairway.

Mr. Talsma said that the doors do swing into the landings, but there is adequate room for handrail extensions.

3.40 Mr. Surman said he is concerned about circulation if the door is swinging open.

Mr. Talsma said that there are rules about how far the door should swing open. He clarified that Mr. Surman if he was an architect in Illinois so he is familiar with these things. He said he has been doing this for 20 years.

3.41 Mr. Surman said it is important that codes are met. Some things are new to him, but if the architect said it meets the code, he is good with that. He then does not have an issue with the stairs. It's their project.

3.42 Mr. Falkof said they were talking about variances on the west side, which is the alley side. If there is going to be any complaint, it will not come from a landowner on the east side or the north side, it will be on the alley side.

3.43 Mr. Kolleng asked how long the facility has been vacant.

Mr. Blonsky said they have not used it for about 15 years. It is not in great shape on the interior.

Mr. Talsma said it was regularly used for special events until the last few years.

3.44 Mr. Surman said he attended an event there 5 to 6 years ago.

3.45 Chairman Schneider said that when he and Mr. Falkof were at the site, on the east side, first floor, there was an open window. He doesn't want people getting into the building. Is the interior timber wood construction.

Mr. Blonsky said that the interior was timber wood construction. The floors are wood.

Mr. Talsma said there is also steel as well as wood. The joists are wood, but the major supporting beams are iron.

3.46 Chairman Schneider asked about readaptive 55+ senior housing and asked for background from Ms. Roberts.

Ms. Roberts said this was a significant issue when Mallinckrodt came on the market and got a lot of attention. When the special use was created, there was consideration given that other facilities like Masonic Lodge may suffer the same fate, so they retained that use in the 2014 ordinance. She said the village was trying in recent years to accommodate the masons in any way possible. If the village didn't already have this use, staff would have recommended creating it in order to preserve this building.

- 3.47 Mr. Surman said they are asking for a fairly large impervious area variation. He is not sure how the village deals with that, but in many recent projects, they have asked for a retainage system on the site when they are over as much as this is over.

Mr. Talsma did not look into village codes, but he reached out to an engineer he works with and showed them the plans. That engineer said they would not need a retention plan. He does not think that anything will come up regarding detention or retention.

- 3.48 Mr. Surman asked Ms. Roberts if this was a situation where the village engineer would get involved.

Ms. Roberts said that based on the size of parking lot coverage, the engineering department will want to take a grading permit. Her guess would be that some sort of catch basin system restrictor might be required. It is not large enough of a property to trigger the MWRD standards. But there probably will be some drainage requirements.

Mr. Talsma said that the down spouts come down to the ground. None go into the sewer at this time.

- 3.49 There were no more questions. There was one guest on the call who had to leave. He had submitted an email in the packet. There are no emails and no one in chat or YouTube.

- 3.50 Chairman Schneider said there was a report from Benesch about studying traffic issues. The conclusion was that this use would be less intense than the previous use. The load on the alley is not that significant.

- 3.51 Mr. Kolleng asked if the parking was only at the back.

Mr. Blonsky said that this was correct. They have 18 spaces.

- 3.52 Mr. Falkof asked if these were dedicated spaces per unit or can anyone park anywhere?

Mr. Blonsky said it will have assigned spaces per unit.

- 3.53 Mr. Falkof asked if visitors would park on the street.

Mr. Blonsky said that this was correct.

- 3.54 Mr. Pellaton said there was a letter from Mr. Teasdale at 1004 Central to the east. Has anyone responded to his questions?

Mr. Blonsky said they have not yet responded to his questions. He has a copy of the email and will reach out to him.

## **5.0 VIEWS EXPRESSED BY MEMBERS OF THE ZONING BOARD OF APPEALS**

- 5.1 Mr. Pellaton said that he has been in the building many times. He is personally acquainted with the neighbors. This is unusual in that the building has not been well maintained for quite a long time. Two of the immediate adjacent properties have been vacant for years and years. One has been demolished and rebuilt but is still vacant though it is for sale. The other neighbors in the more extended area are in favor of the development or any positive use of the building. It would be a tremendous benefit to the village. He has concerns about impervious surface coverage. He has not seen one close to the amount requested. The rest of the variation requests are fairly small and make sense for a project of this size and this use. There is a definite need for this type of use in the village. He has heard that from village trustees. It makes sense to consider the variation requests in that light. If Ms. Roberts and village engineers can work out water drainage and retention issues that satisfies impervious surface coverage issues, then this is a good use and a project that he can recommend.
- 5.2 Mr. Kolleng agreed with the above comments. The impervious surface coverage is there now. 16 units will require parking. Unless the village engineer says there is retention that needs to be put in place, there will not be a change. The site is run down. It would be a shame to lose the façade on Central. This is a positive readaptive use and it is close to transportation and the Village Center. It is an excellent project that he can support.
- 5.3 Mr. Surman asked the applicant if the building was sprinklered.
- The applicant said they would ensure that the building is sprinklered.
- 5.4 Mr. Surman thought it was a great project and good use for the building. It would be a shame to tear it down. He can support it but being an architect, he has some issues.
- 5.5 Mr. Falkof said he can also support the request. It is a beautiful reuse. It will have a positive impact on the community. There is a need for this type of housing.
- 5.6 Mr. Surman said everyone wants the right end product.
- 5.7 Chairman Schneider said he hopes that the engineer makes sure that there is not additional load to the combined sewer system on the east side, which would be a problem. He assumes that the engineer will pay attention to this. This is R2 zoning. The community generally accepts the project. He can support the request.

**6.0 DECISION**

6.1 Mr. Pellaton moved to recommend granting a special use for an Adaptive Reuse Senior Housing/55+ Development, a 0.57 floor area ratio variation, a 9.29' front yard setback variation, a 9.26' west side yard setback variation, a 6.74' west side yard stair setback variation, a west side yard deck setback variation, a 9.93' height variation, an 8.77' parapet height variation, a 0.65' elevator housing height variation, a 6.03' air conditioner condenser height variation, a 2.15' rear yard (north) parking space setback variation, a 1,284 square foot (29.8%) rear yard total impervious surface coverage variation, a 2,574 square foot (59.8%) rear yard pavement impervious surface coverage variation, and a variation from the requirement that 50% of the required parking space be enclosed to permit the modification of the existing building into a 16-unit apartment development and associated site improvements in accordance with the plans submitted at 1010 Central. The use shall run with the use.

6.11 Mr. Kolleng seconded the motion and the vote was as follows:

Chairman Reinhard Schneider	Yes
Brad Falkof	Yes
John Kolleng	Yes
Christine Norrick	Not Present
Ryrie Pellaton	Yes
Bob Surman	Yes
Maria Choca Urban	Not Present

Motion carried.

6.2 Mr. Kolleng moved to authorize the Chairman to prepare the report and recommendation for case number 2020-Z-20.

6.21 Mr. Surman seconded the motion and the vote was as follows:

Chairman Reinhard Schneider	Yes
Brad Falkof	Yes
John Kolleng	Yes
Christine Norrick	Not Present
Ryrie Pellaton	Yes
Bob Surman	Yes
Maria Choca Urban	Not Present

Motion carried.

**7.0 FINDINGS OF FACT UPON WHICH DECISION WAS BASED**

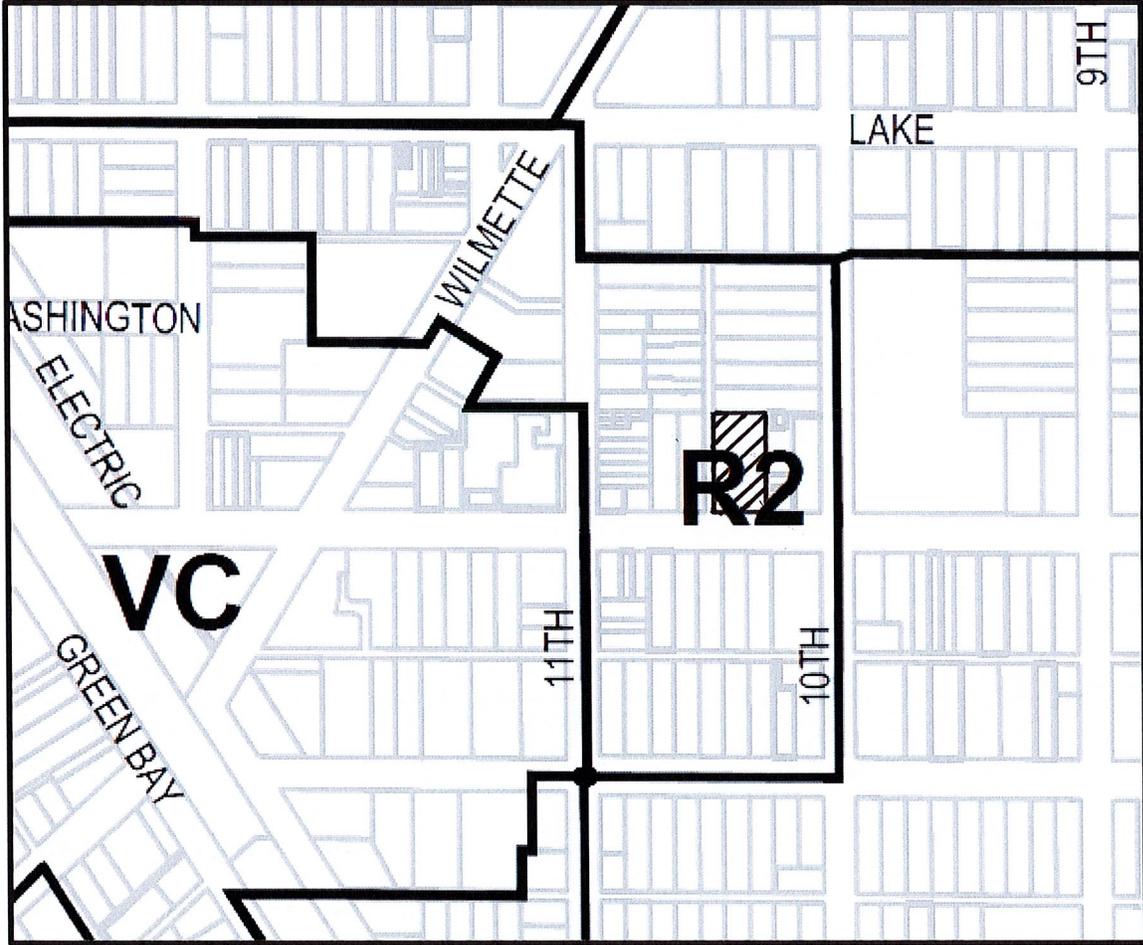
The Zoning Board of Appeals finds that the request meets the special use standards of Section 5.3.E and the variation standards of Section 5.4.F of the Zoning Ordinance. The proposed use in the specific location is consistent with the goals and policies of the Comprehensive

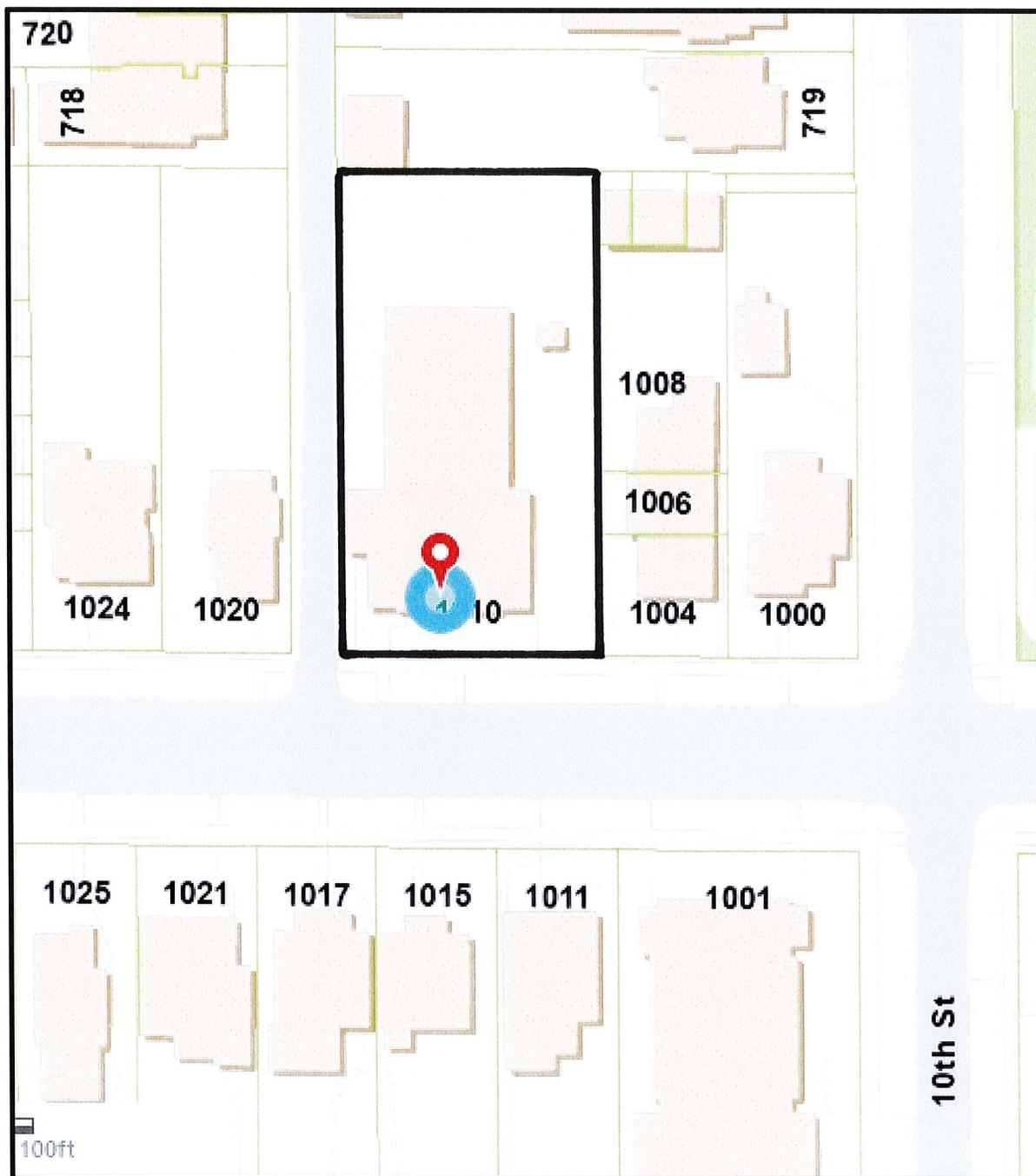
Plan to provide alternative housing that complements the traditional single-family character of the village. The proposed use allows for the existing building to be retained with minimal exterior alteration and thus minimal impact on adjoining properties. The establishment and maintenance of this use in this location will not be detrimental to or endanger the public health, safety and welfare. The proposed use will not be injurious to the use or enjoyment of other properties in the neighborhood. The establishment of the use will not impede development and improvement of surrounding properties. The proposed use will not substantially diminish property values in the neighborhood. Adequate utilities, road access, drainage and other necessary facilities already exist or will be provided. Adequate measures will be taken to provide ingress and egress. The use is not expected to have much of an impact on existing traffic and parking. The new residential use of the building is consistent with the community character of the neighborhood. Development of the proposed use will not substantially adversely affect a known archeological, historical or cultural resource. The proposed use allows for the preservation of the building, which, while not a formal historical landmark, has historical and architectural significance. The existing east setbacks will be maintained and new landscaping will be provided, resulting in open space and buffers being maintained. There are no additional use standards required in Article 12.

The physical conditions of the property, the siting of the building on the lot and the height of the building, impose upon the owner a particular hardship. The plight of the owner was not created by the owner and is due to the unique development and use of the property. The hardship prevents the owner from making reasonable use of the building; preservation and reuse of the building is not possible without variations being granted. The proposed variations will not impair an adequate supply of light and air to adjacent properties. The setback variations are on the west side of the building adjoining a public alley. Separation to the nearest residential structures to the east, north, and west will be maintained. The variations, if granted, will also for the preservation and re-use of the building and improvement of the site, improving the essential character of the neighborhood.

## **8.0 RECOMMENDATION**

The Zoning Board of Appeals recommends granting a special use for an Adaptive Reuse Senior Housing/55+ Development, a 0.57 floor area ratio variation, a 9.29' front yard setback variation, a 9.26' west side yard setback variation, a 6.74' west side yard stair setback variation, a west side yard deck setback variation, a 9.93' height variation, an 8.77' parapet height variation, a 0.65' elevator housing height variation, a 6.03' air conditioner condenser height variation, a 2.15' rear yard (north) parking space setback variation, a 1,284 square foot (29.8%) rear yard total impervious surface coverage variation, a 2,574 square foot (59.8%) rear yard pavement impervious surface coverage variation, and a variation from the requirement that 50% of the required parking space be enclosed to permit the modification of the existing building into a 16-unit apartment development and associated site improvements in accordance with the plans submitted at 1010 Central. The use shall run with the use.





# 0534A 4A W<sup>1</sup>/<sub>2</sub> NE<sup>1</sup>/<sub>4</sub> Section 34 - 42 - 13 NEW TRIER



Cook County, Illinois

"A"  
RESERVATION in Township  
92 Doc. 1749861

"B"  
WILMETTE, a sub. of the W.  
of the N. Sec. of Ouilmette  
also the 40 ft. N. of and adjoining  
of North Ave. and the 33 ft. S.  
ng the center line of South Ave.  
71 Doc. 6379

"C"  
SUB. of Lots 3 & 4 of Blk. 23 of  
nette (see "B").  
05 Doc. 3674285

"E"  
RESUB. of the E. 95 ft. of Lot  
n Village of Wilmette (see "B").  
40 Doc. 12583485

"F"  
& MORSE'S SUB. of Blk. 19 of  
nette (see "B").  
72 Doc. 56742

"G"  
SON'S SUB. of Blk. 20 in  
nette (see "B").  
72 Doc. 56742

"H"  
& MORSE'S SUB. of Blks. 12,  
, & 21 in Village of Wilmette (see  
72 Doc. 56742

"J"  
6 of Village of Wilmette (see  
72 Doc. 56742

"K"  
SUB. of Blk. 14 in Village  
ee "B").  
72 Doc. 56742

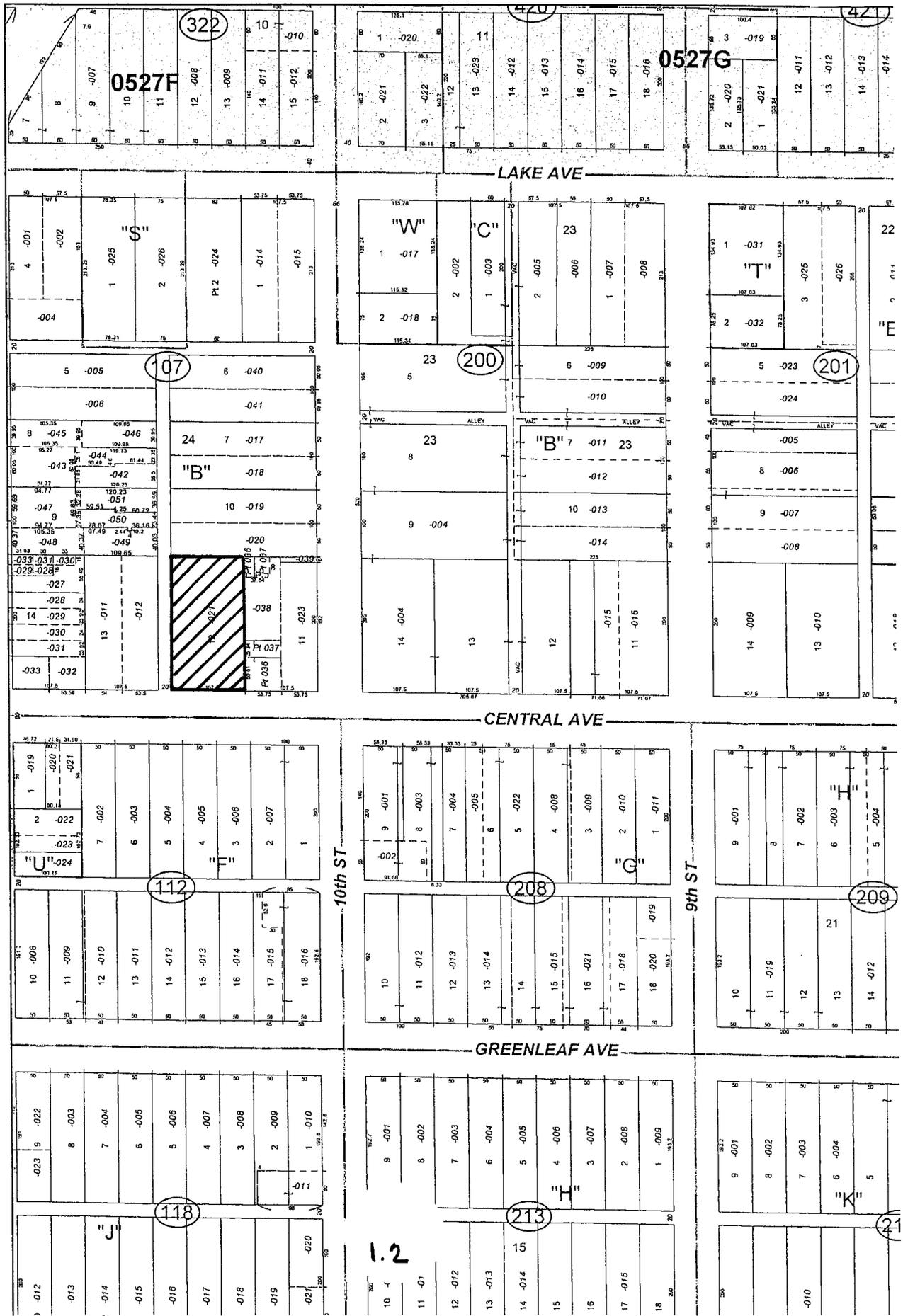
"L"  
tout's Resub. of Lots 4 & 5 of Blk.  
f Wilmette (see "B").  
05 Doc. 3659751

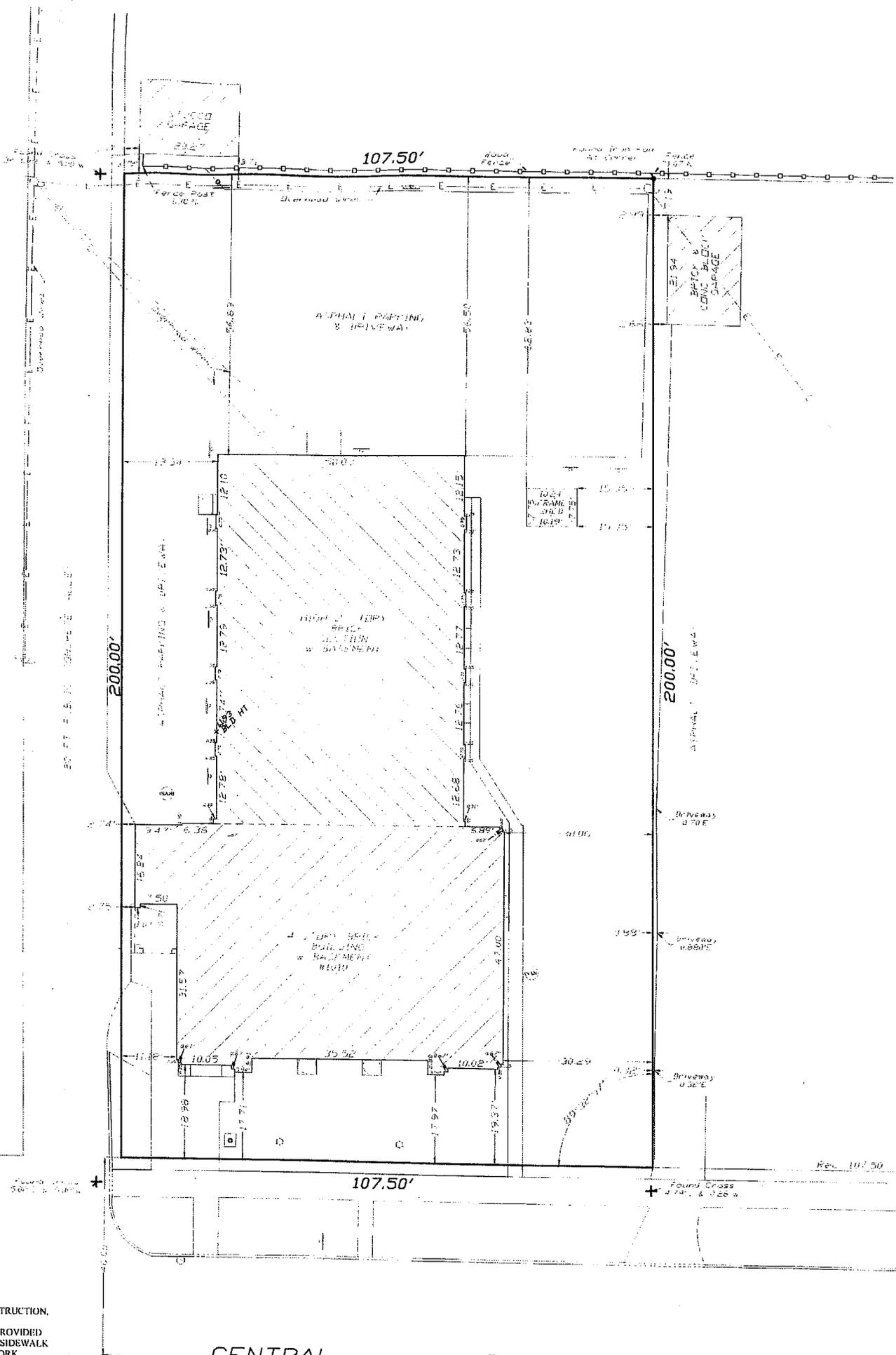
"M"  
SUB. of Lots 1, 2, 9, & 10 of Blk.  
f Wilmette (see "B").  
75 Doc. 12834

"N"  
JB. of Lots 7 & 8 of Blk. 11 in  
nette (see "B").  
93 Doc. 1834282

"O"  
RESUB. of part of Lots 5, 6, &  
b. (see "N").  
52 Doc. 15471496

"P"  
DENS, a sub. of Lot 3 of Blk.  
Wilmette (see "B").





- IND: INDEX
- POLE: POLE
- IND LIGHT: IND LIGHT
- MANHOLE: MANHOLE
- SEWER MANHOLE: SEWER MANHOLE
- UNGRADED SEWER MANHOLE: UNGRADED SEWER MANHOLE
- HEAD POWER LINE: HEAD POWER LINE
- PHONE WIRE: PHONE WIRE

IF EARTH MOVING WORK, BUILDING CONSTRUCTION, OR ADDITION OBSERVED DURING FIELD WORK, CHANGES IN STREET RIGHT OF WAY LINE PROVIDED, OR, NO EVIDENCE OF RECENT STREET OR SIDEWALK WORK OR REPAIRS OBSERVED DURING FIELD WORK, NO INFORMATION AS TO OWNERSHIP OF PROPERTIES. OF SCHEDULE B-II IS SURVEY RELATED.

CANCEL DATE MAP OF COOK COUNTY EFFECTIVE AUGUST 19, 2008. "X" AREA, WHICH IS THE AREA OF THE SURVEY.

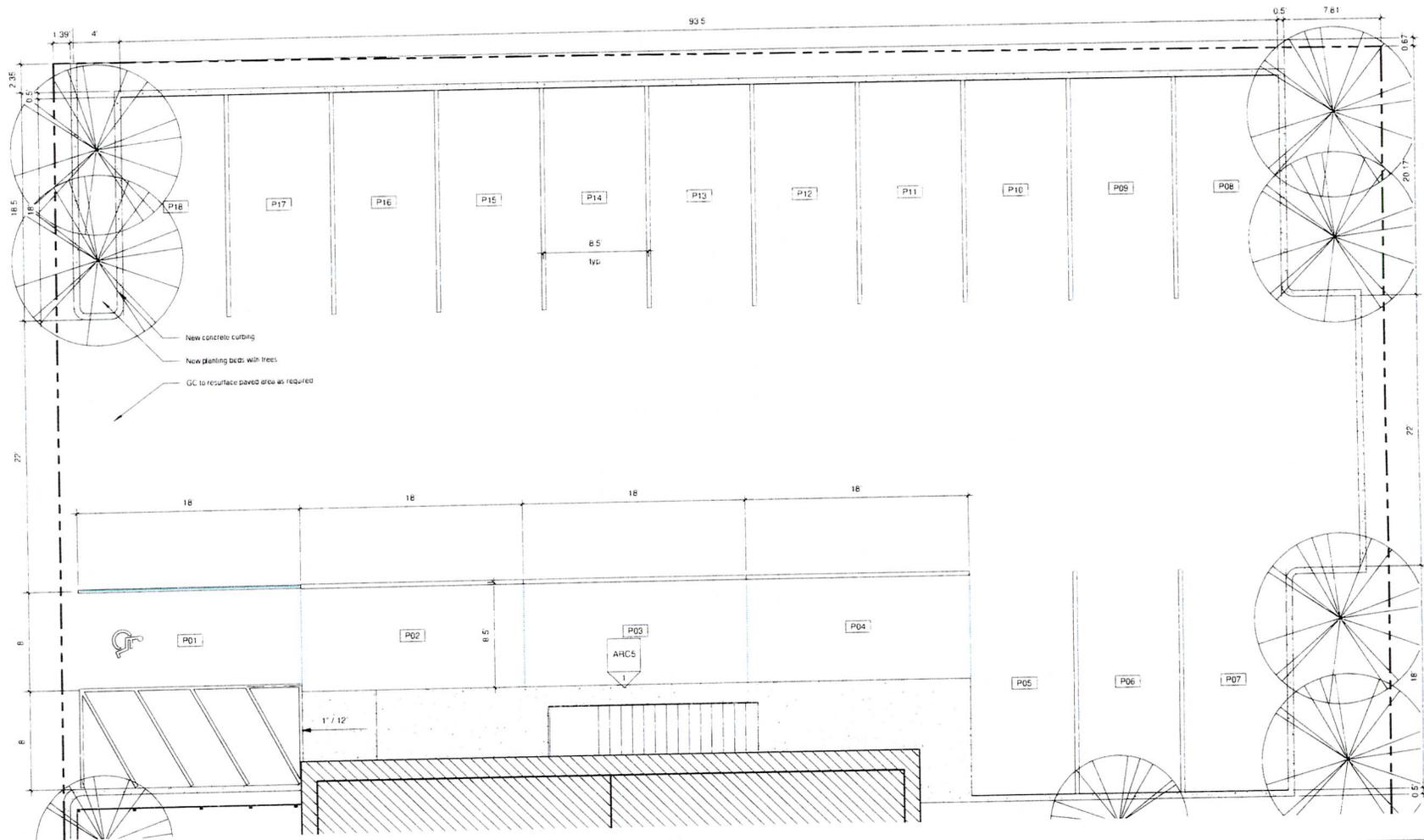
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AVE.

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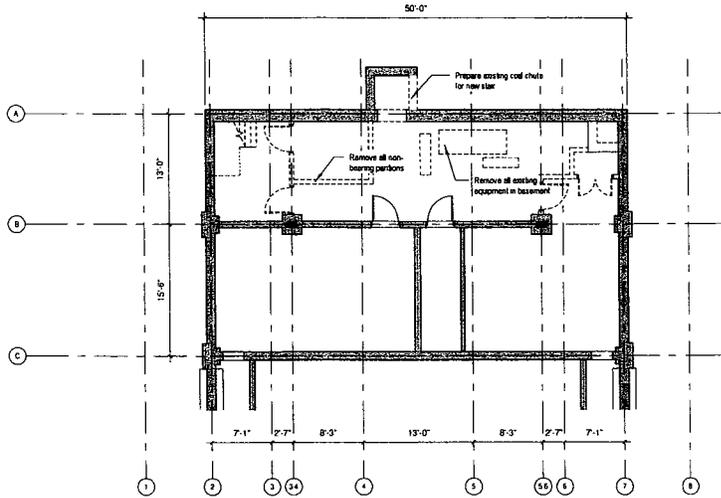
CERTIFY TO: MASONIC FOUNDATION CHICAGO TITLE INSURANCE

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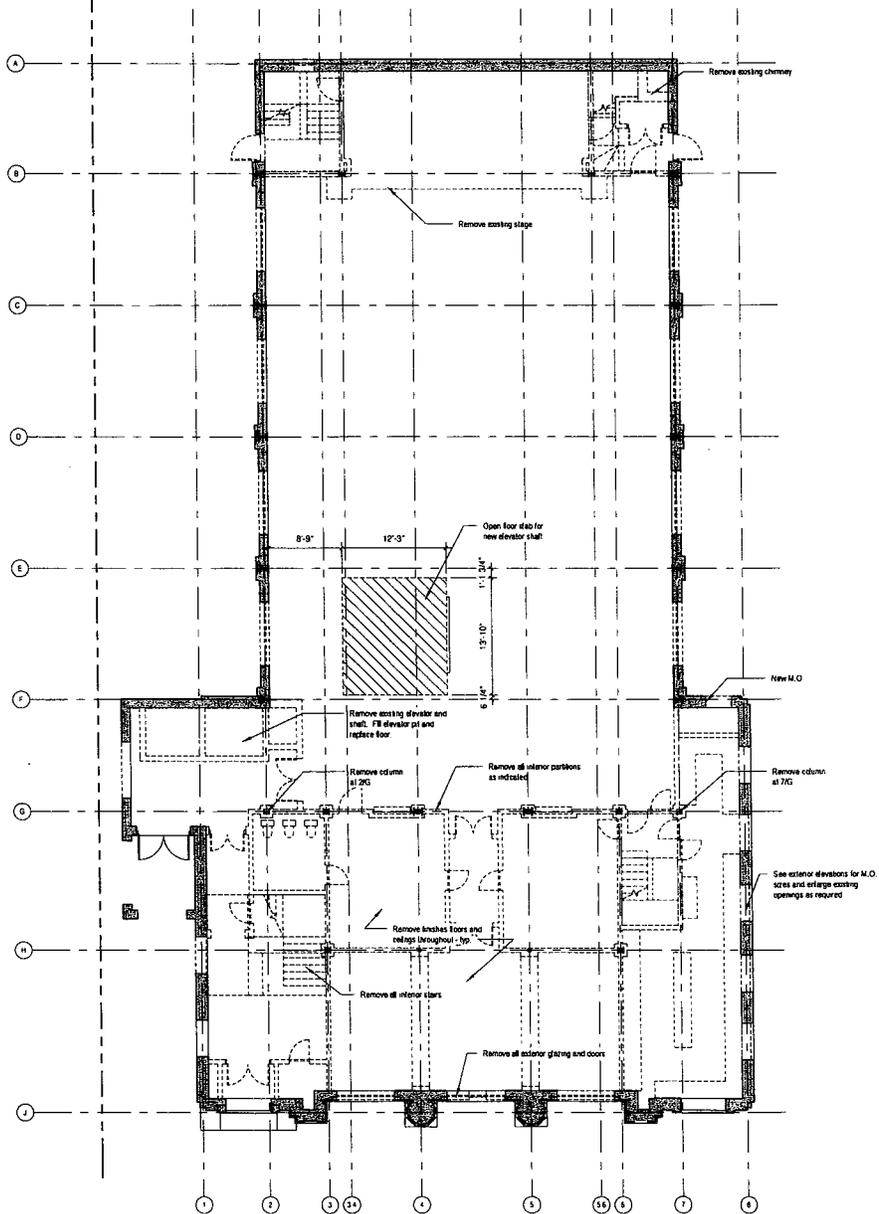


2 \*Parking Lot Plan  
3/16" = 1'-0"





1. Basement - Demolition  
1/8" = 1'-0"



2. 1st Floor - Demolition  
1/8" = 1'-0"

**DEMOLITION GENERAL NOTE:**

Remove all existing kitchen, HVAC, Electrical equipment, plumbing fixtures and obsolete plumbing and non-load bearing partitions.

**DEMOLITION LEGEND:**

- Existing Wall to Remain
- Existing Wall to be Removed  
Prior to demolition, confirm walls to be removed do not contain structural components

1/10/2020	Issued for Architectural Review
1/10/2020	Issued for 2B/A
	Description

REVISE DATES

**FILORAMONTALS**  
ARCHITECT

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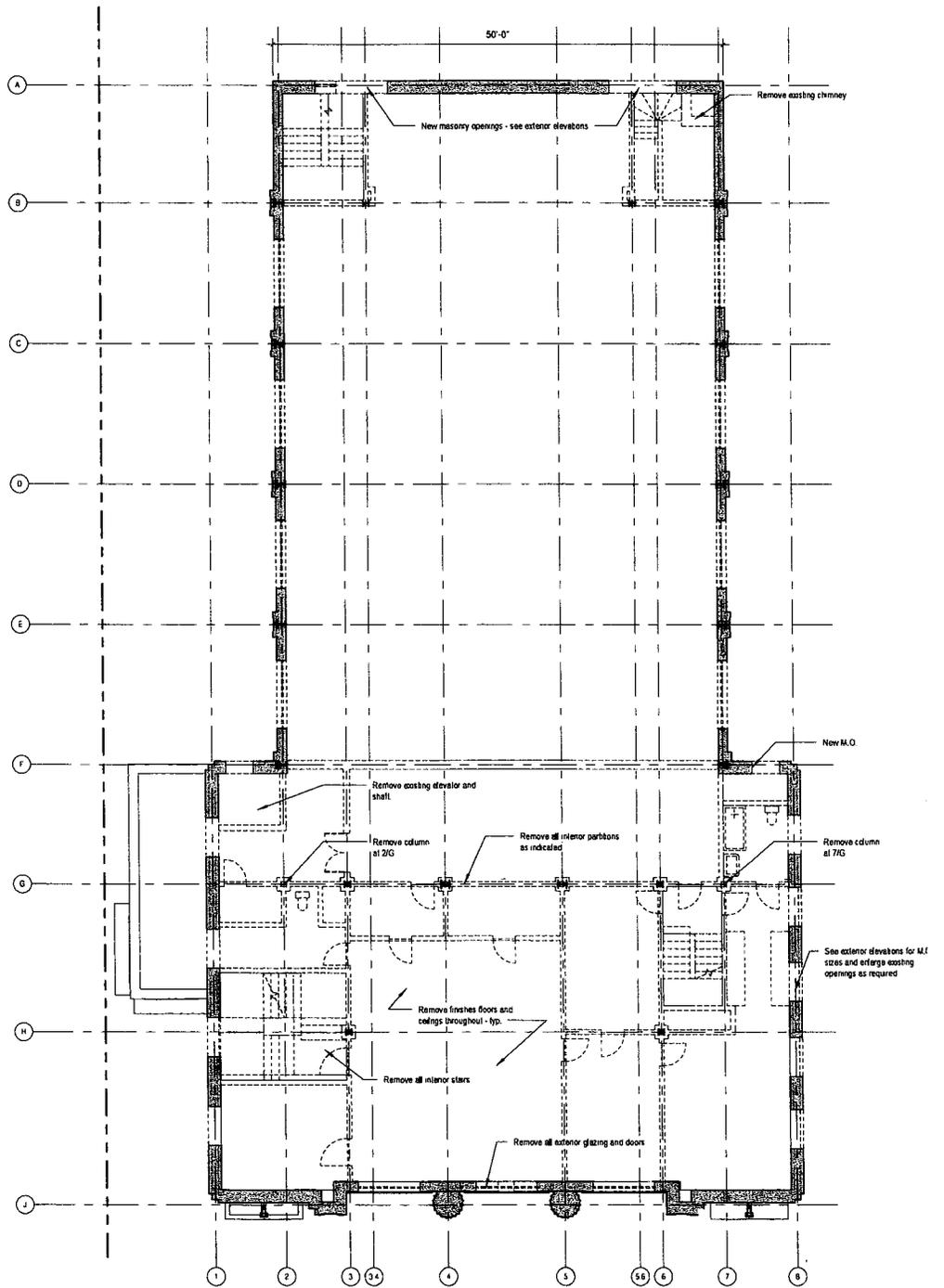
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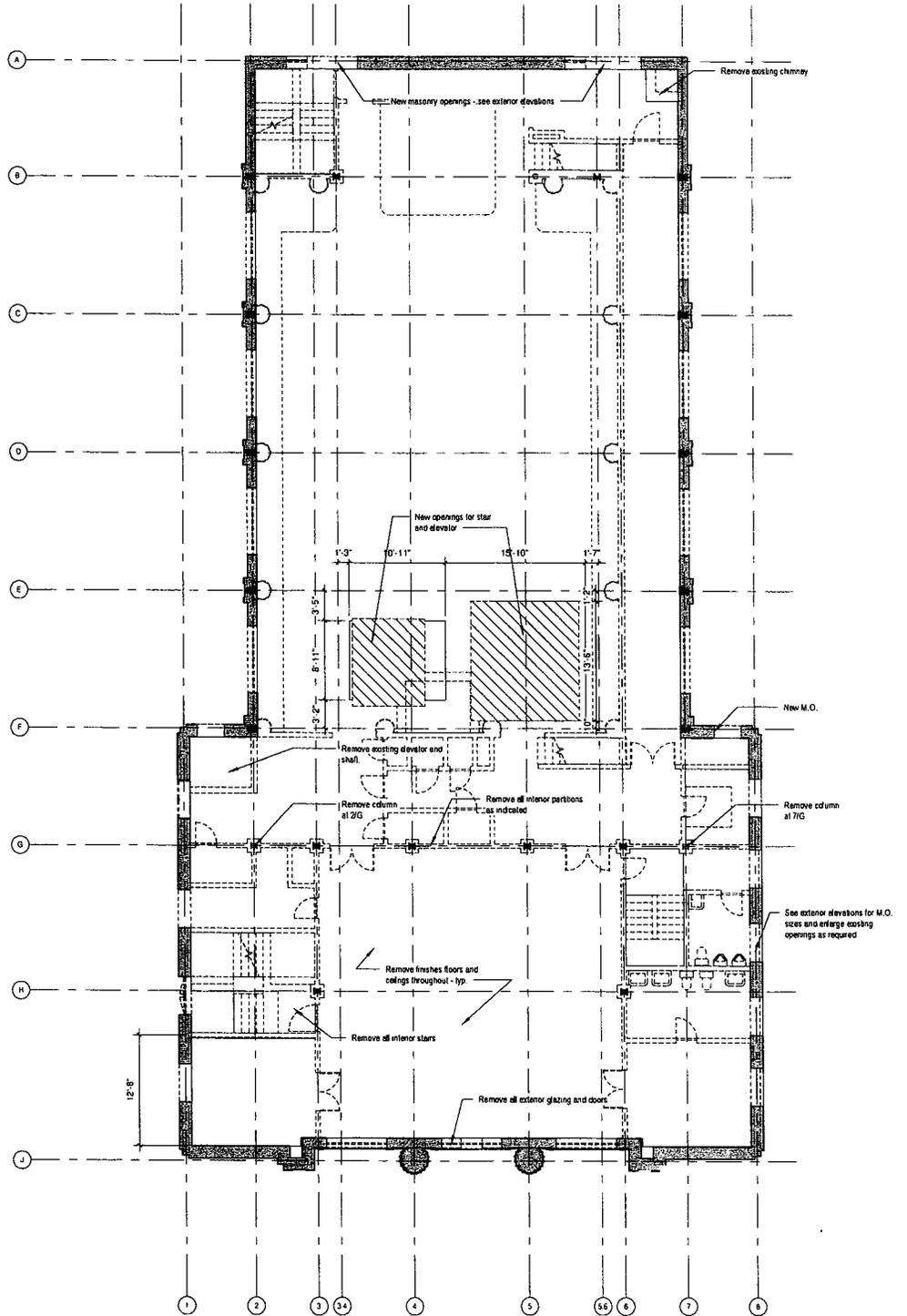
Masonic Temple Residences  
1510 Geneva Ave

Sheet:

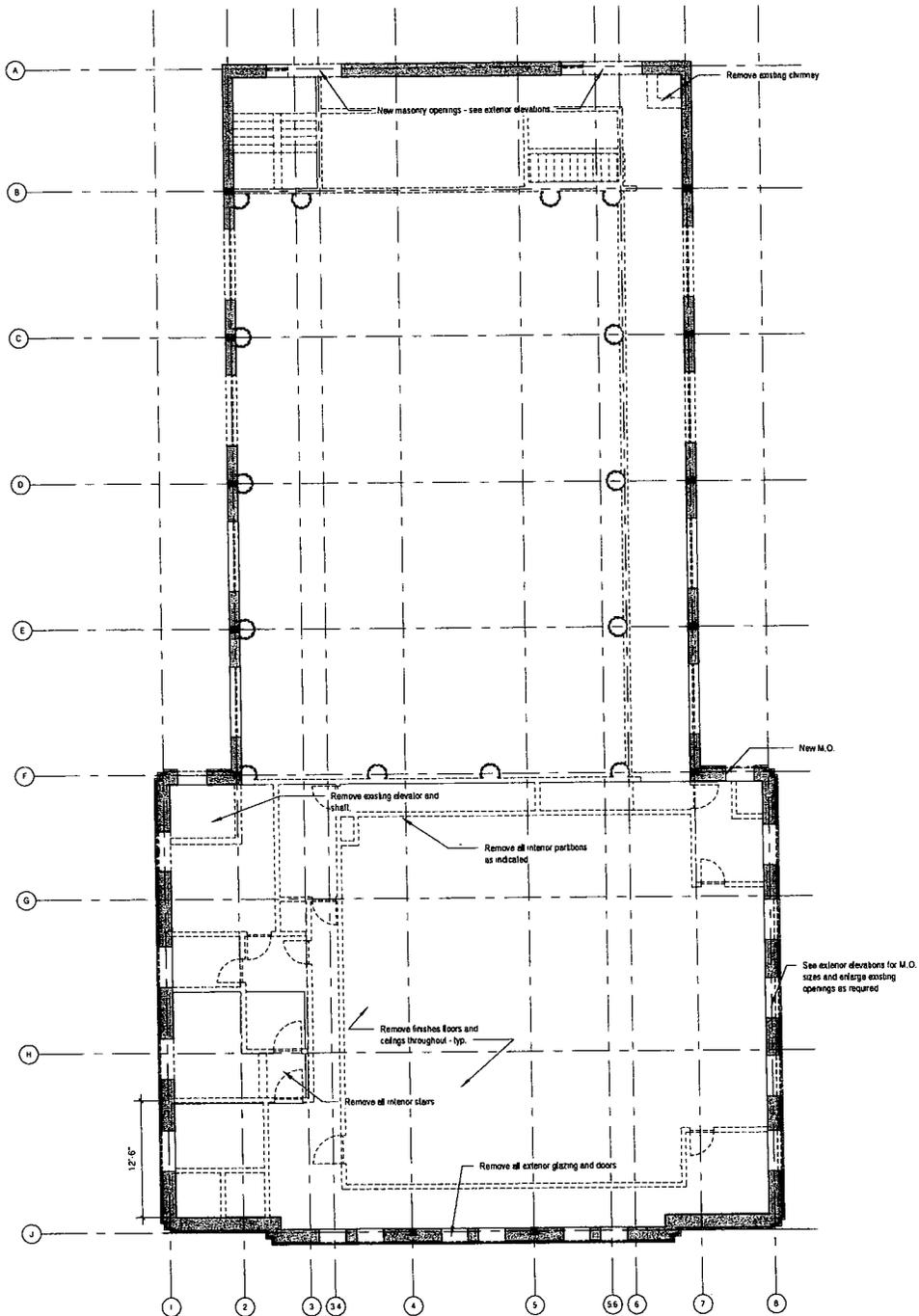
Demolition Plans

1.6





**1** 3rd Floor - Demolition  
 1/8" = 1'-0"

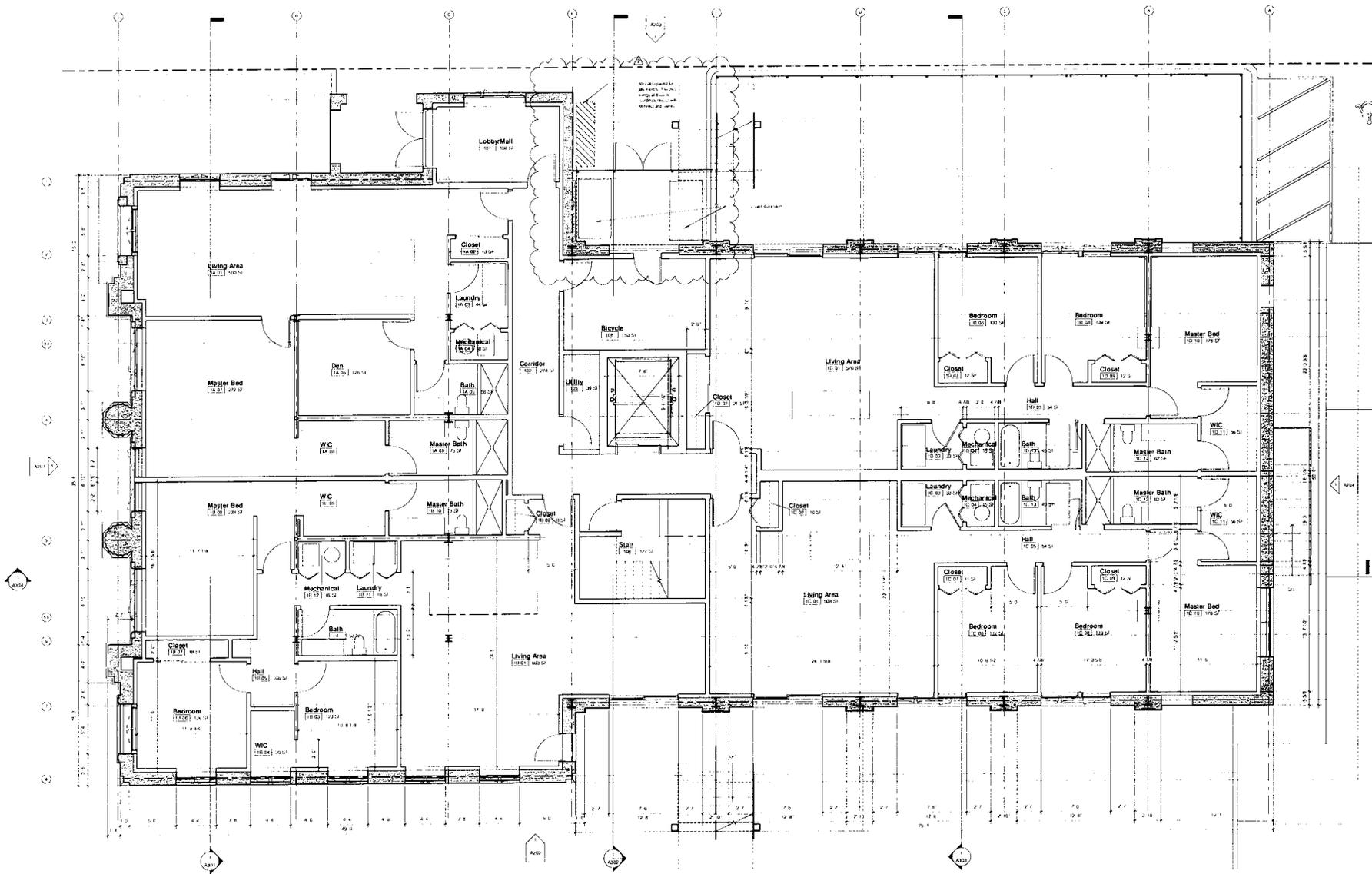


2 4th Floor - Demolition  
 1/8" = 1'-0"





1.12



1 1st Floor 14' x 11' 0"

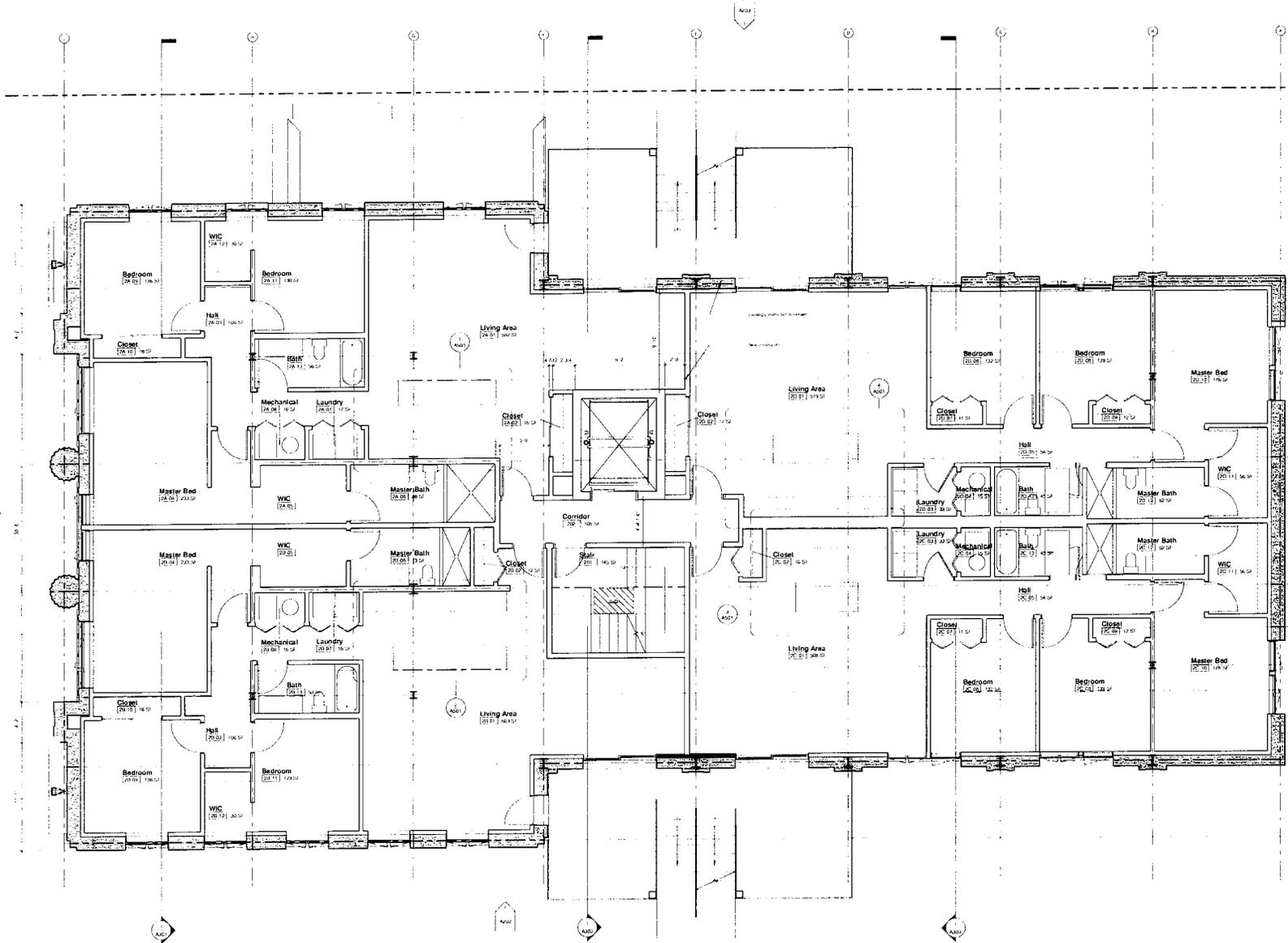
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 1.12.0100 100th Floor Plan

**FILORAMO TALMA**

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 1.12.0100 100th Floor Plan

Masomo Temple Residences

1.13



1 of 11 Pages

1. All work shall be in accordance with the approved plans and specifications.  
 2. The contractor shall be responsible for obtaining all necessary permits.  
 3. The contractor shall maintain access to all adjacent properties at all times.  
 4. The contractor shall be responsible for the safety of all workers and the public.  
 5. The contractor shall be responsible for the protection of all existing utilities.  
 6. The contractor shall be responsible for the removal and disposal of all debris.  
 7. The contractor shall be responsible for the cleanup of the site at the end of the project.  
 8. The contractor shall be responsible for the completion of the project within the specified time frame.  
 9. The contractor shall be responsible for the payment of all subcontractors and suppliers.  
 10. The contractor shall be responsible for the maintenance of the site during the project.

**FILORAMO TALISMA**

1. This is a preliminary drawing and is not to be used for construction.  
 2. The contractor shall be responsible for the accuracy of the information provided.  
 3. The contractor shall be responsible for the completion of the project within the specified time frame.  
 4. The contractor shall be responsible for the payment of all subcontractors and suppliers.  
 5. The contractor shall be responsible for the maintenance of the site during the project.

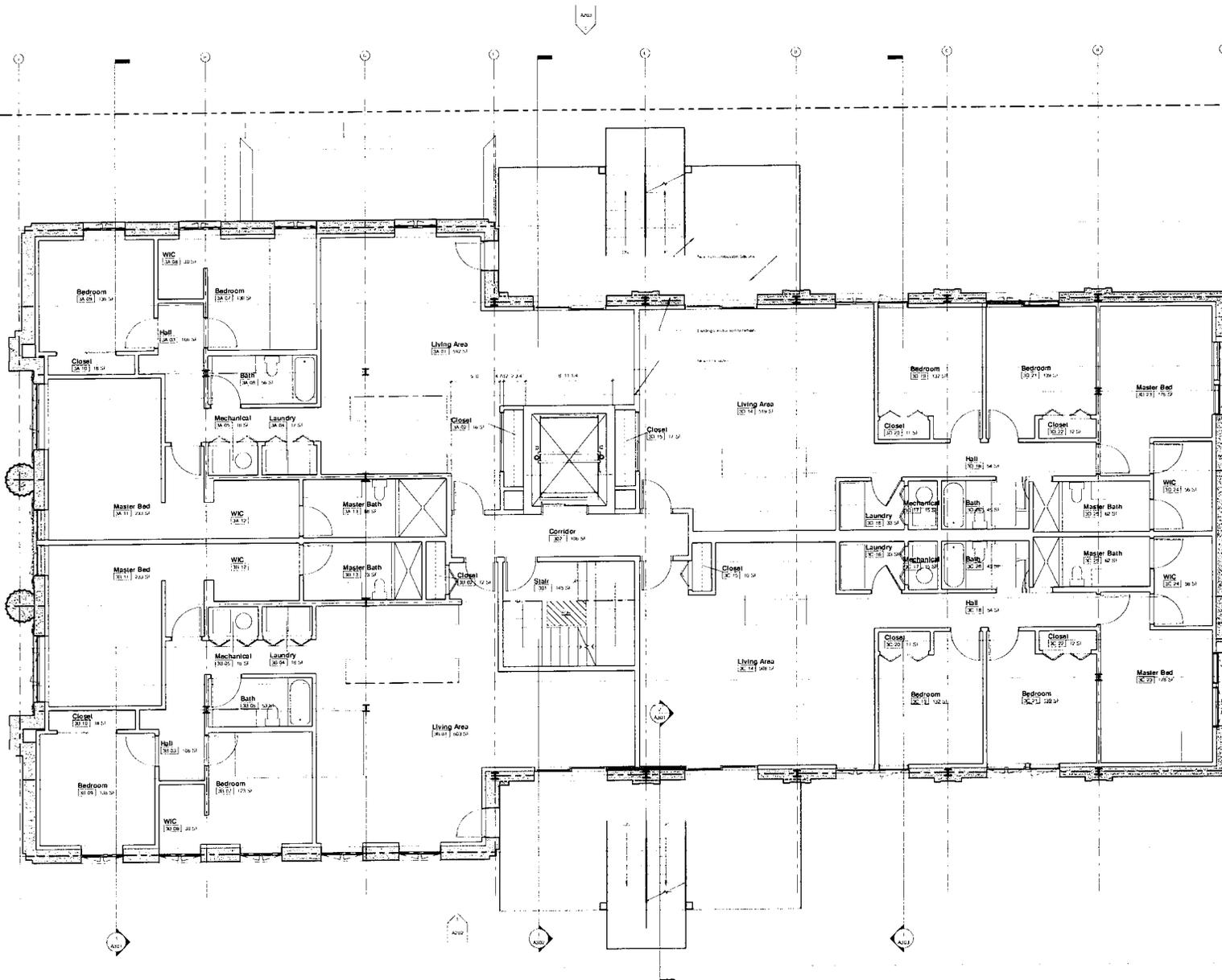
Date: 7/20/2018 11:22 AM  
 Project: Mason Temple Residences  
 Drawing:

Mason Temple Residences  
 1st Floor Plan  
 Scale:

Securing Floor Plan

A102

1.14



1 3rd Floor  
1/4" = 1'-0"

1.0 General Notes  
 1.1 Architectural Notes  
 1.2 Structural Notes  
 1.3 Mechanical Notes  
 1.4 Electrical Notes  
 1.5 Plumbing Notes  
 1.6 Fire Protection Notes  
 1.7 Other Notes

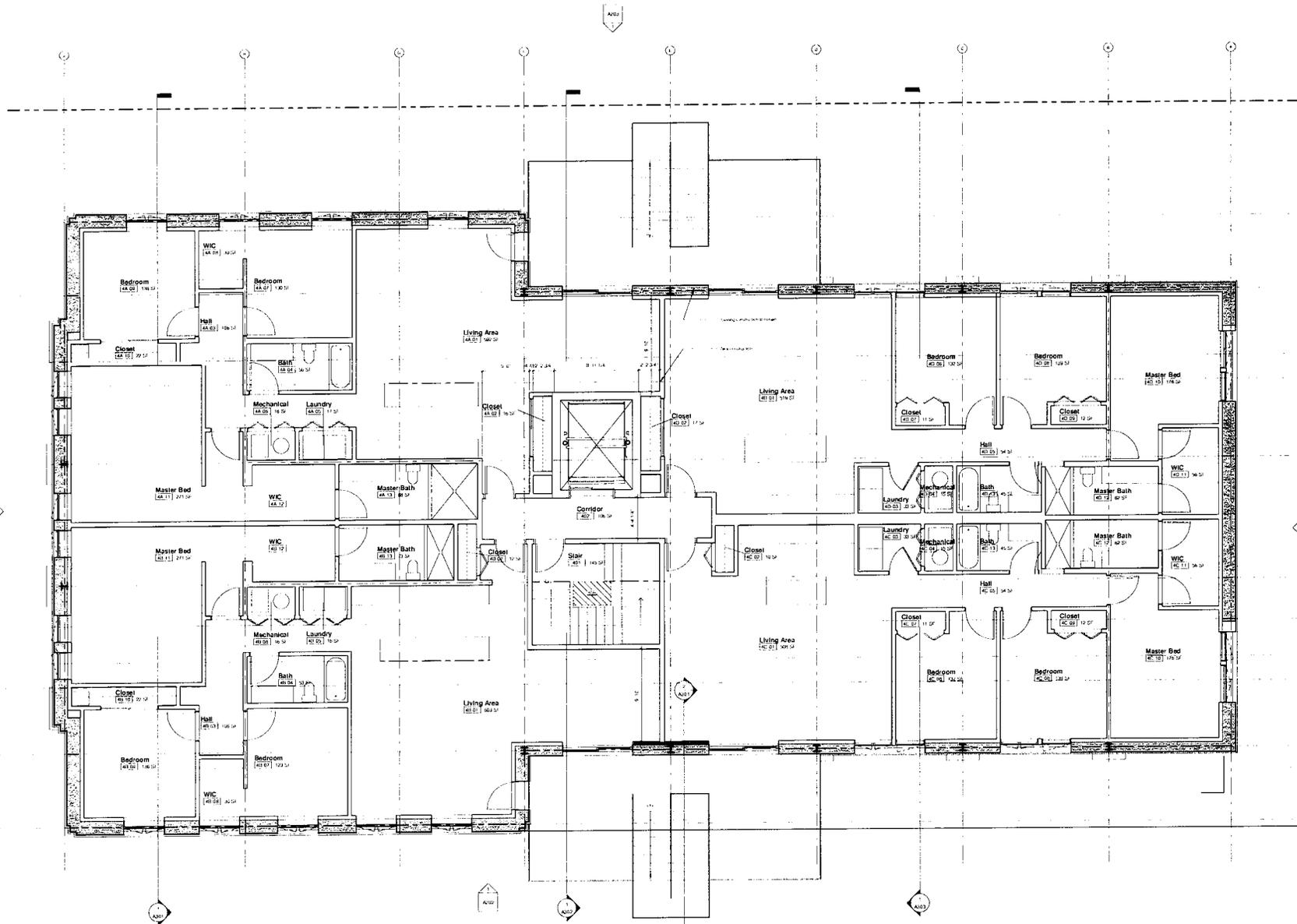
**ELORAMOTALSMA**  
 ARCHITECTS  
 180 N. Main Ave. #201, Chicago, IL 60610  
 Phone: (312) 467-1100  
 Fax: (312) 467-1101  
 Website: www.eloramotalisma.com

Date: 10/20/2010 14:23:19  
 Project: Masonic Temple Residences  
 File: 3rd Floor Plan

A103

1/1

1 4th Floor  
144' x 110'



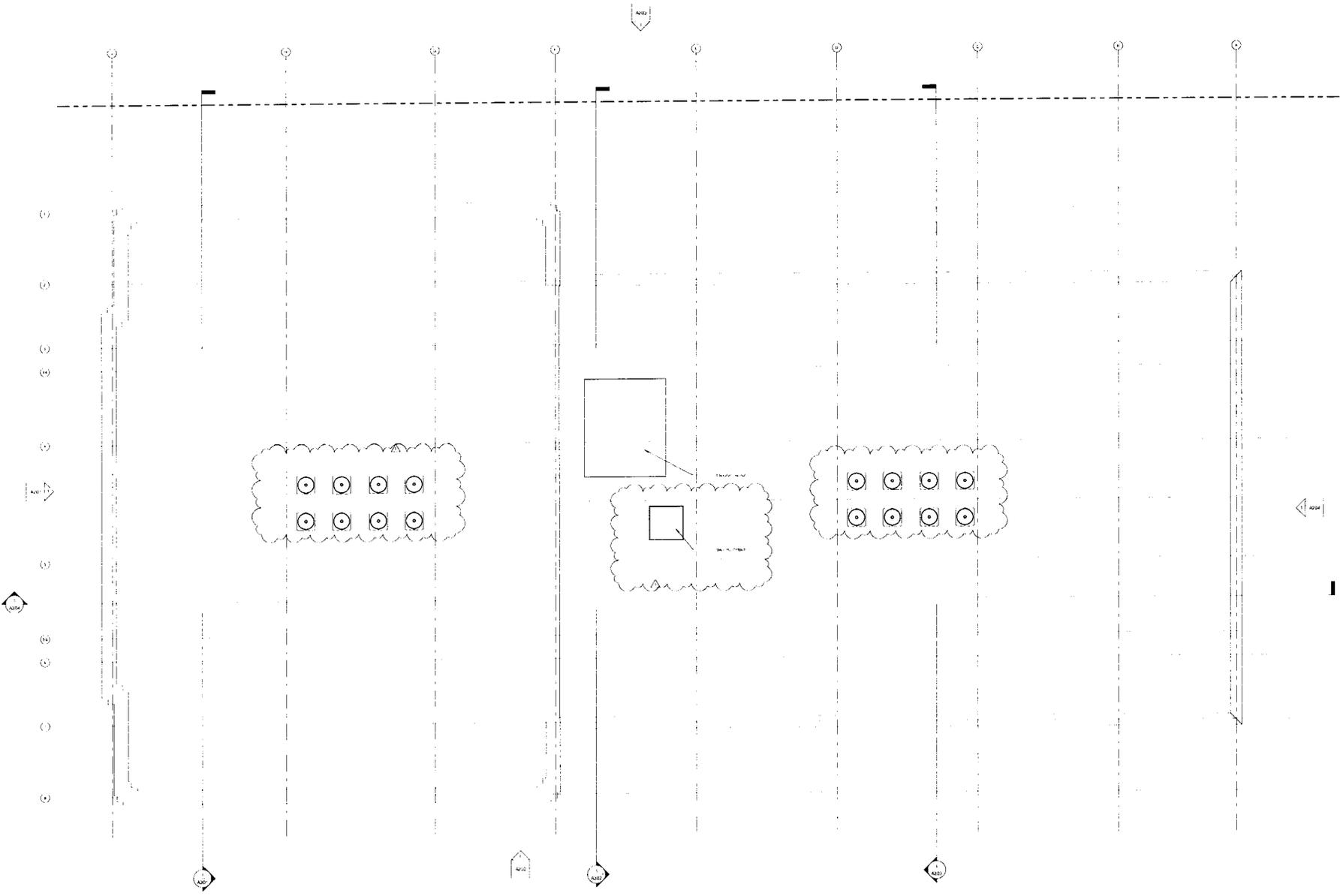
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**FILORAMO TALSMA**

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Masonic Temple Residences  
 144' x 110'  
 Fourth Floor Plan

1.16



1 Floor Plan  
1/8" = 1'-0"

PROJECT: Masonic Temple Residences  
 LOCATION: [Redacted]  
 DATE: [Redacted]  
**ELORAMO TALSMA**  
 ARCHITECTS  
 1101 [Redacted] ST. SE  
 ATLANTA, GA 30316  
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 FAX: 404.525.1102  
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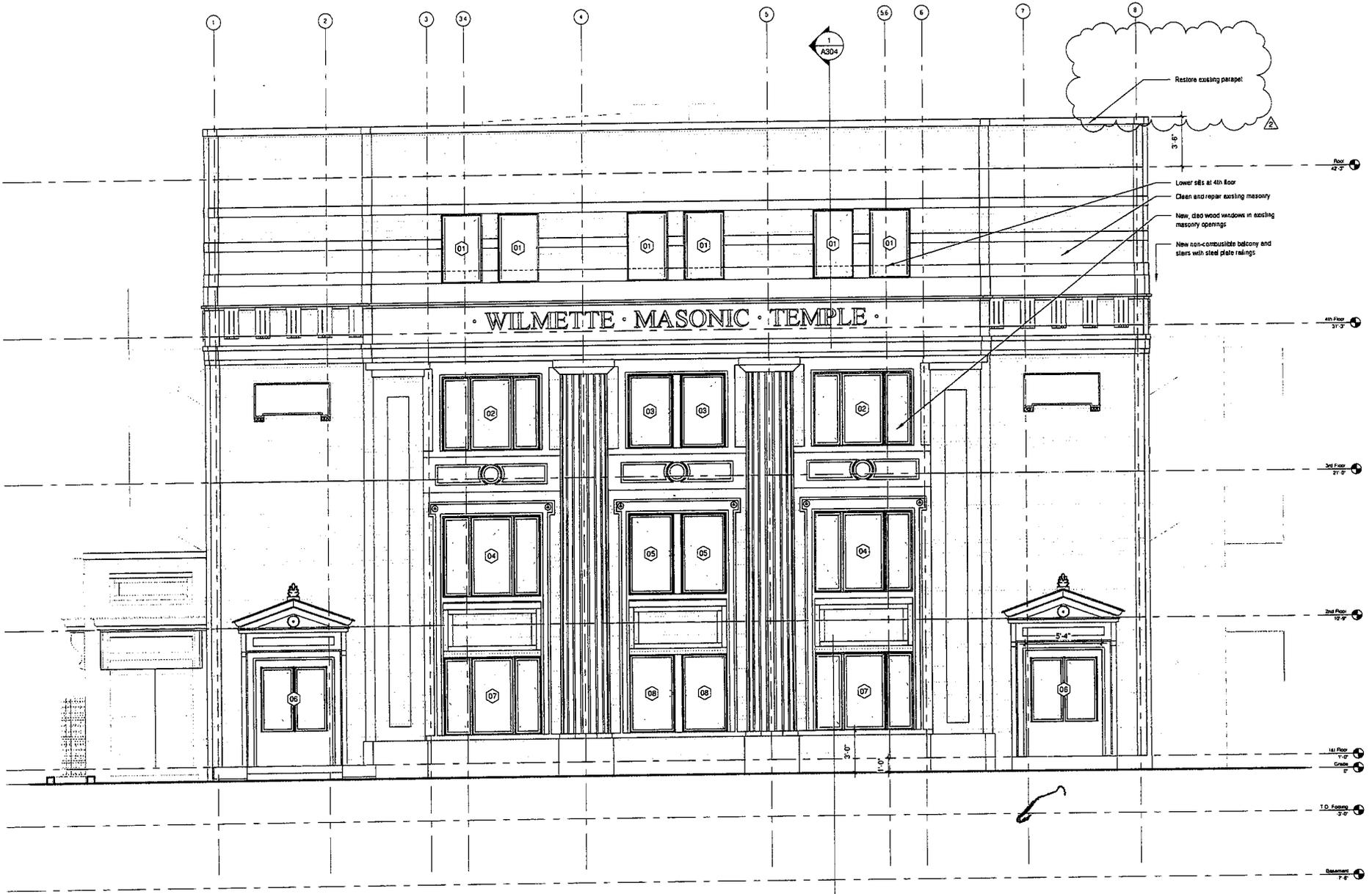
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DRAWING NO.: [Redacted]  
 SHEET NO.: [Redacted]  
 SCALE: [Redacted]  
 DATE: [Redacted]  
 DRAWN BY: [Redacted]  
 CHECKED BY: [Redacted]  
 APPROVED BY: [Redacted]

---

Masonic Temple Residences  
 Floor Plan  
 A105

1.17



**1** South Elevation  
 1/4" = 1'-0"

| Issue | Date       | Description |
|-------|------------|-------------|
| 1     | 05/18/2020 | ISSUE TO    |
| 2     | 06/05/2020 | ISSUE TO    |
| 3     | 07/28/2020 | ISSUE TO    |

**FILORA**

1785 N. Elston Ave., #226, O  
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Issue Date: 7/28/2020 4  
 Project Name:

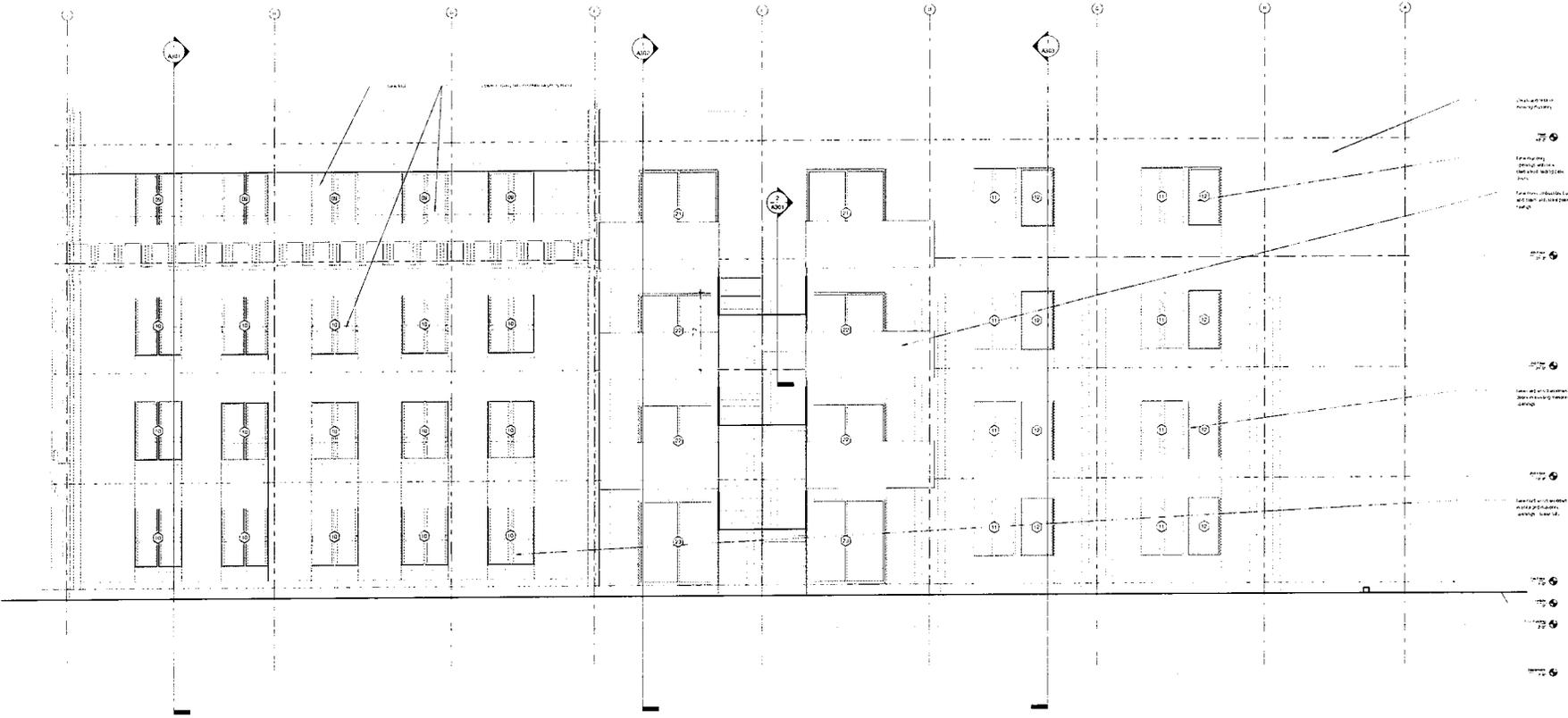
Masonic Temp  
 1616 Central Ave

Owner:

South Elevator

811

| Type Mark | Description             | Manufacturer             | Multif Units | Approx Height | Approx Width | Cladding Material        | Count | Comments   |
|-----------|-------------------------|--------------------------|--------------|---------------|--------------|--------------------------|-------|--|
| 01        | Clad Casement           | Marvin Windows and Doors | 1            | 4' 10"        | 2' 10"       | Ultron Marvin Ebony      | 6     | Listed dimensions are approximate. Window Supplier to confirm openings in field. |
| 02        | Clad Casement Triple    | Marvin Windows and Doors | 1            | 5' 2"         | 6' 10"       | Ultron Marvin Ebony      | 2     | Listed dimensions are approximate. Window Supplier to confirm openings in field. |
| 03        | Clad Casement           | Marvin Windows and Doors | 1            | 5' 2"         | 2' 11"       | Ultron Marvin Ebony      | 2     | Listed dimensions are approximate. Window Supplier to confirm openings in field. |
| 04        | Clad Casement Triple    | Marvin Windows and Doors | 3            | 5' 8"         | 10' 10"      | Ultron Marvin Ebony      | 2     | Listed dimensions are approximate. Window Supplier to confirm openings in field. |
| 05        | Clad Casement           | Marvin Windows and Doors | 1            | 5' 8"         | 3' 11"       | Ultron Marvin Ebony      | 2     | Listed dimensions are approximate. Window Supplier to confirm openings in field. |
| 06        | Clad Casement Pair      | Marvin Windows and Doors | 2            | 4' 7"         | 2' 6"        | Ultron Marvin Ebony      | 2     | Listed dimensions are approximate. Window Supplier to confirm openings in field. |
| 07        | Clad Casement Triple    | Marvin Windows and Doors | 3            | 5' 6"         | 6' 10"       | Ultron Marvin Ebony      | 2     | Listed dimensions are approximate. Window Supplier to confirm openings in field. |
| 08        | Clad Casement           | Marvin Windows and Doors | 1            | 5' 6"         | 3' 2"        | Ultron Marvin Ebony      | 2     | Listed dimensions are approximate. Window Supplier to confirm openings in field. |
| 09        | Clad Casement Pair      | Marvin Windows and Doors | 2            | 4' 10"        | 4' 4"        | Ultron Marvin Ebony      | 11    | Listed dimensions are approximate. Window Supplier to confirm openings in field. |
| 10        | Clad Casement Pair      | Marvin Windows and Doors | 2            | 5' 6"         | 2' 4"        | Ultron Marvin Ebony      | 23    | Listed dimensions are approximate. Window Supplier to confirm openings in field. |
| 11        | Clad Casement Pair      | Marvin Windows and Doors | 2            | 5' 6"         | 10' 8"       | Ultron Marvin Ebony      | 22    | Listed dimensions are approximate. Window Supplier to confirm openings in field. |
| 12        | Clad Casement           | Marvin Windows and Doors | 1            | 5' 6"         | 3' 11"       | Ultron Marvin Ebony      | 22    | Listed dimensions are approximate. Window Supplier to confirm openings in field. |
| 13        | Clad Casement Triple    | Marvin Windows and Doors | 3            | 5' 6"         | 10' 8"       | Ultron Marvin Ebony      | 1     | Listed dimensions are approximate. Window Supplier to confirm openings in field. |
| 14        | 1920 AWWC               | Marvin Windows and Doors | 2            | 2' 3"         | 12' 9"       | Ultron Marvin Pubblegray | 4     | Listed dimensions are approximate. Window Supplier to confirm openings in field. |
| 21        | Clad Sliding Patio Door | Marvin Windows and Doors | 1            | 8' 4"         | 7' 0"        | Ultron Marvin Ebony      | 4     | Listed dimensions are approximate. Window Supplier to confirm openings in field. |
| 22        | Clad Sliding Patio Door | Marvin Windows and Doors | 1            | 7' 2"         | 7' 5"        | Ultron Marvin Ebony      | 10    | Listed dimensions are approximate. Window Supplier to confirm openings in field. |
| 23        | Clad Sliding Patio Door | Marvin Windows and Doors | 1            | 8' 0"         | 7' 5"        | Ultron Marvin Ebony      | 3     | Listed dimensions are approximate. Window Supplier to confirm openings in field. |
| 57        | Clad Patio Door         | Marvin Windows and Doors | 1            | 7' 2"         | 7' 0"        | Ultron Marvin Ebony      | 8     | Listed dimensions are approximate. Window Supplier to confirm openings in field. |



1 East Elevation

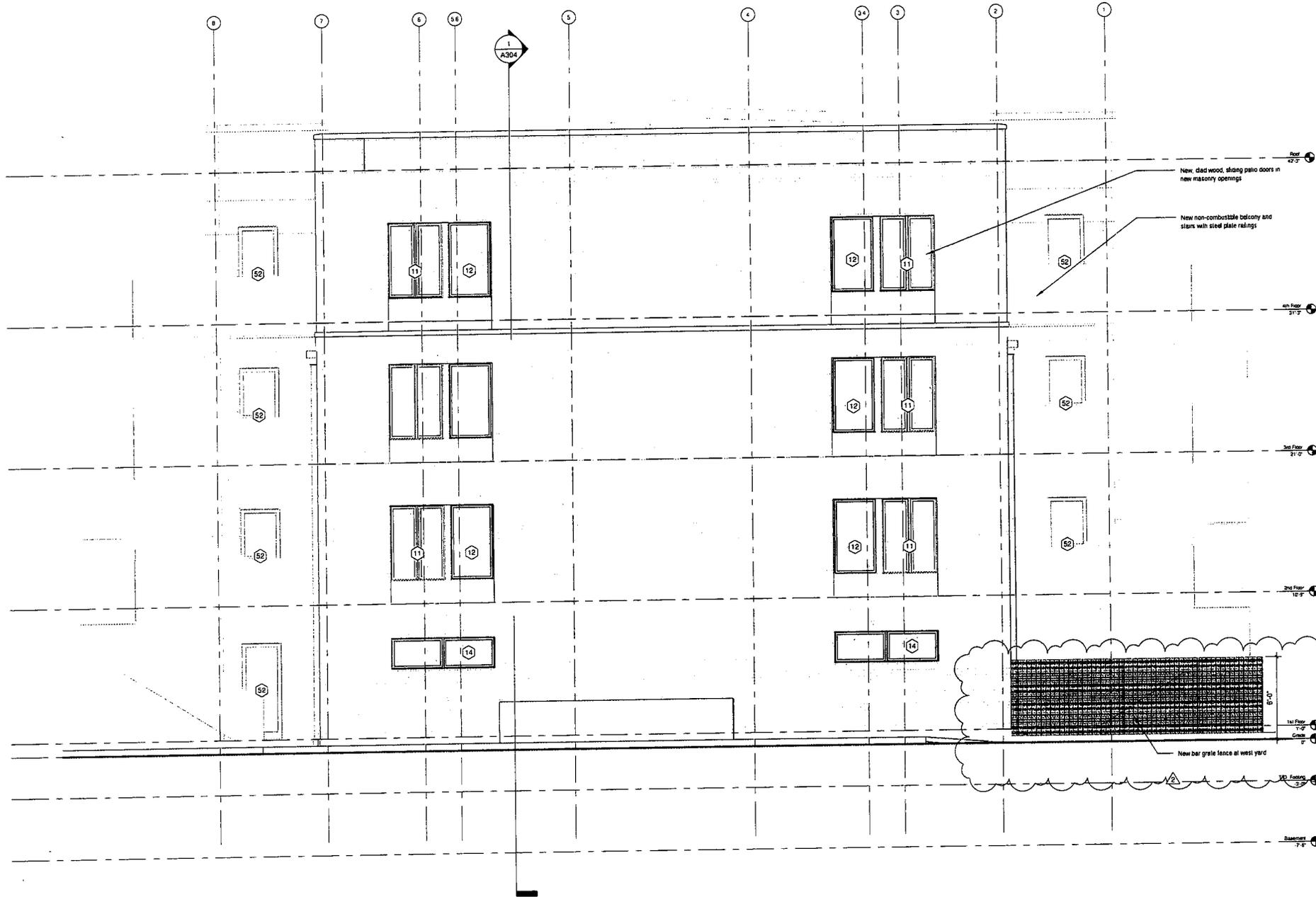
1. GENERAL: Refer to Appendix C (Notes to Specifications)  
 2. WINDOW: Refer to Appendix C (Notes to Specifications)  
 3. DOOR: Refer to Appendix C (Notes to Specifications)  
 4. FINISH: Refer to Appendix C (Notes to Specifications)  
 5. MATERIALS: Refer to Appendix C (Notes to Specifications)  
 6. INSTALLATION: Refer to Appendix C (Notes to Specifications)  
 7. MAINTENANCE: Refer to Appendix C (Notes to Specifications)

**FILORAMO TALSMAN**  
 ARCHITECTS  
 1011 1/2 East Ave. #208 Chicago, IL 60610  
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 www.filoramo.com

10/26/2024 14:28:19  
 10/26/2024 14:28:19  
 Mason Temple Residences  
 East Elevation  
 A202

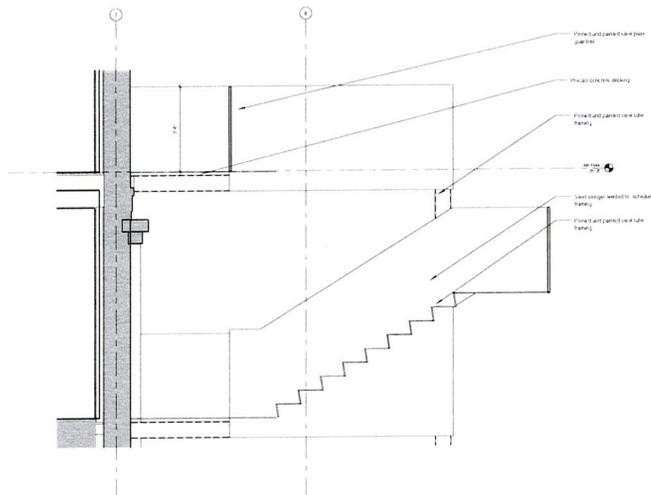


|    |                         |                          |       |       |                     |   |  |
|----|-------------------------|--------------------------|-------|-------|---------------------|---|--|
| 23 | Clad Sliding Patio Door | Marvin Windows and Doors | 8'-0" | 1'-0" | Ultrex-Marvin-Ebony | 8 | Listed dimensions are approximate - Window Supplier to confirm openings in field |
| 52 | Clad Patio Door         | Marvin Windows and Doors | 7'-2" | 3'-0" | Ultrex-Marvin-Ebony | 8 |  |

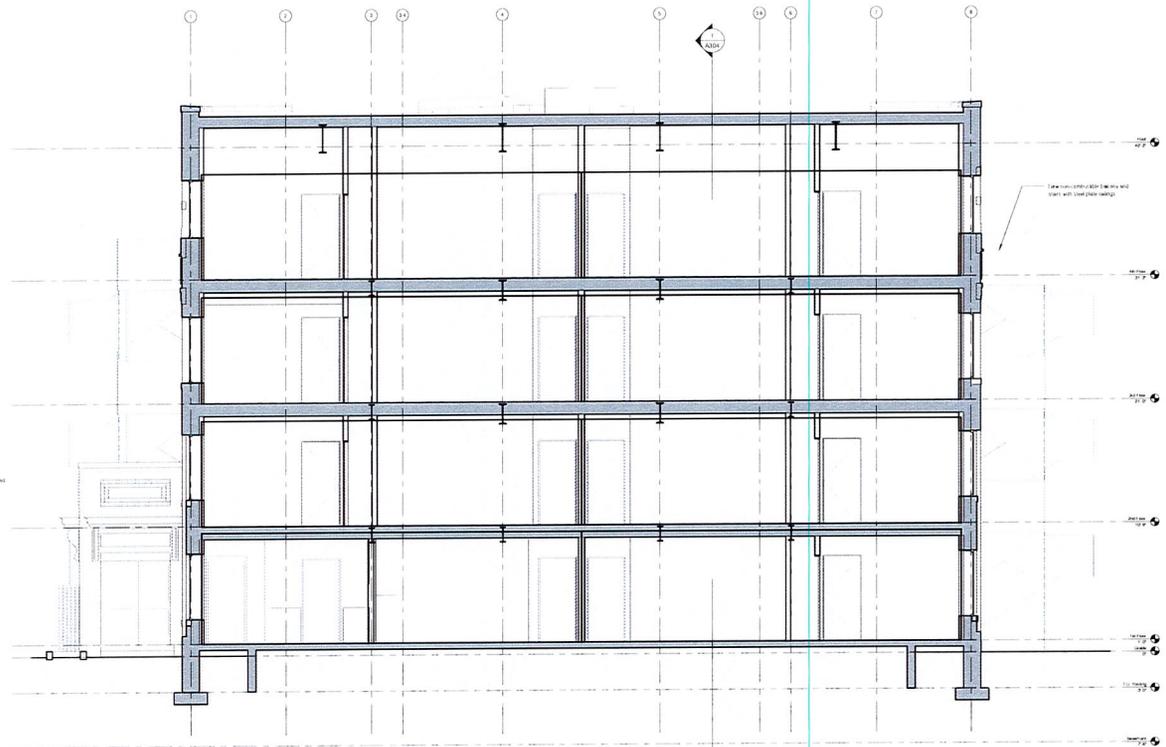


1.20

1.21



2 Balcony Detail  
1/2" = 1'-0"



1 Floor Section  
1/4" = 1'-0"

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
|     |      |             |

**FILORAMO TALSMAN**  
ARCHITECTS

180 N. LaSalle Ave., 40th Floor, Chicago, IL 60610  
 Tel: 312.467.1000 Fax: 312.467.1001  
 www.filoramotalsman.com

DATE: 1/28/2020 4:15:05 PM

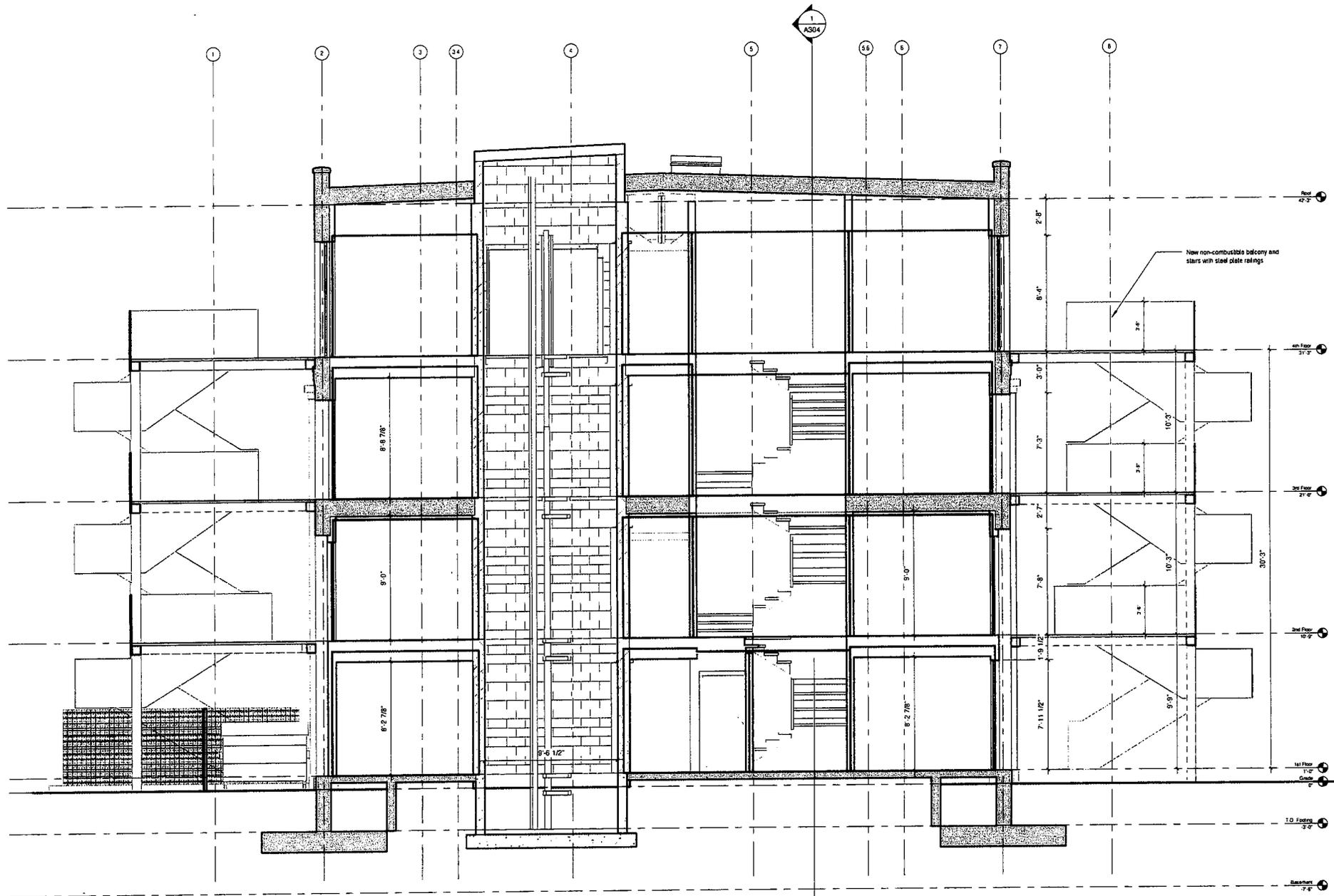
PROJECT: Masonic Temple Residences  
 180 N. LaSalle Ave.

DRN: \_\_\_\_\_

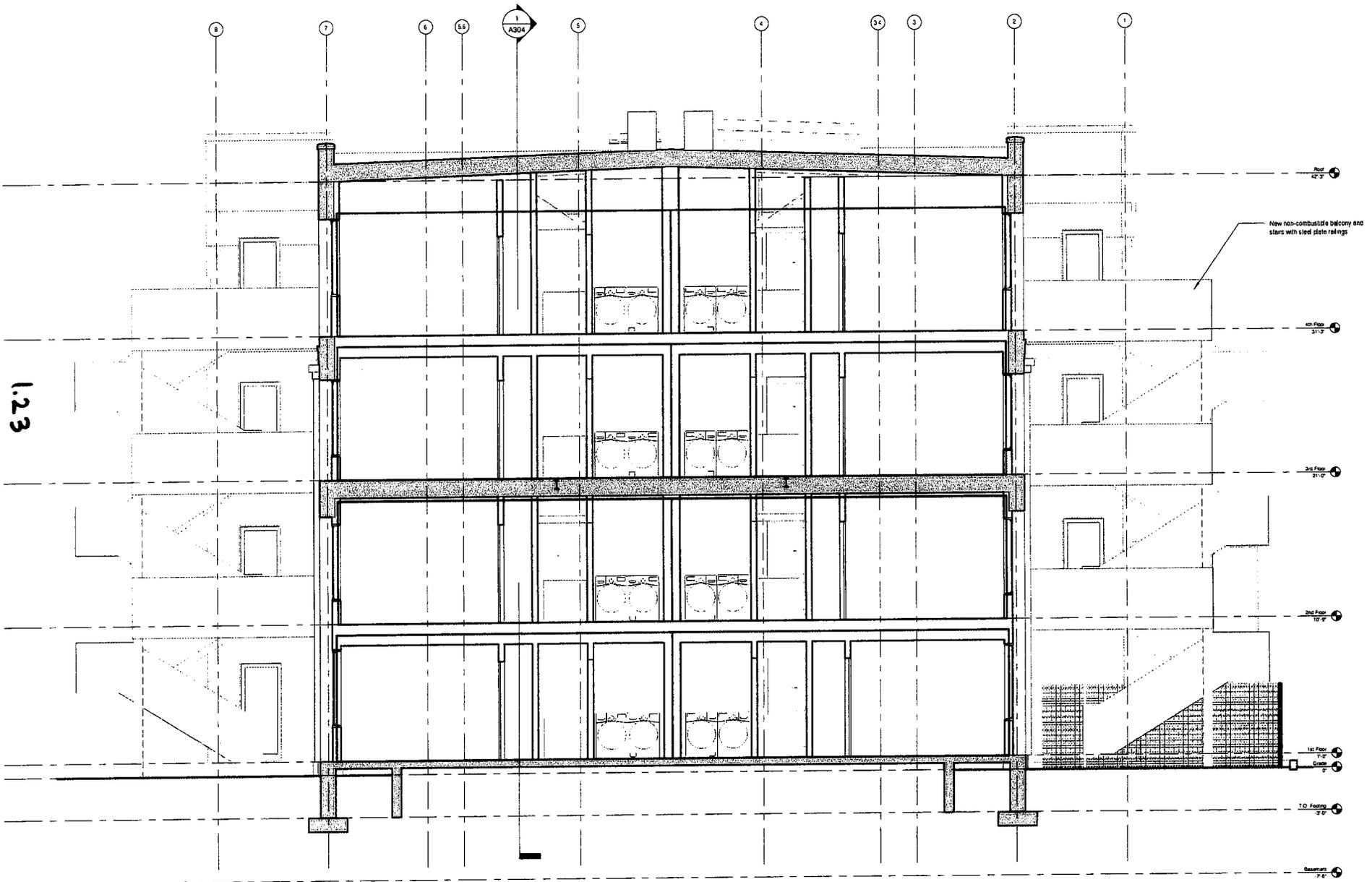
Building Section

A301

1.22



1 E/W Section  
1/4" = 1'-0"



1.23

New non-combustible balcony and stairs with steel plate ratings

| # | Date       | Description      |
|---|------------|------------------|
| 3 | 7/28/2020  | Issued for ACB   |
| 2 | 10/05/2020 | Issued for ZBA.1 |
| 1 | 10/19/2020 | Issued for ZBA   |

ISSUE DATES

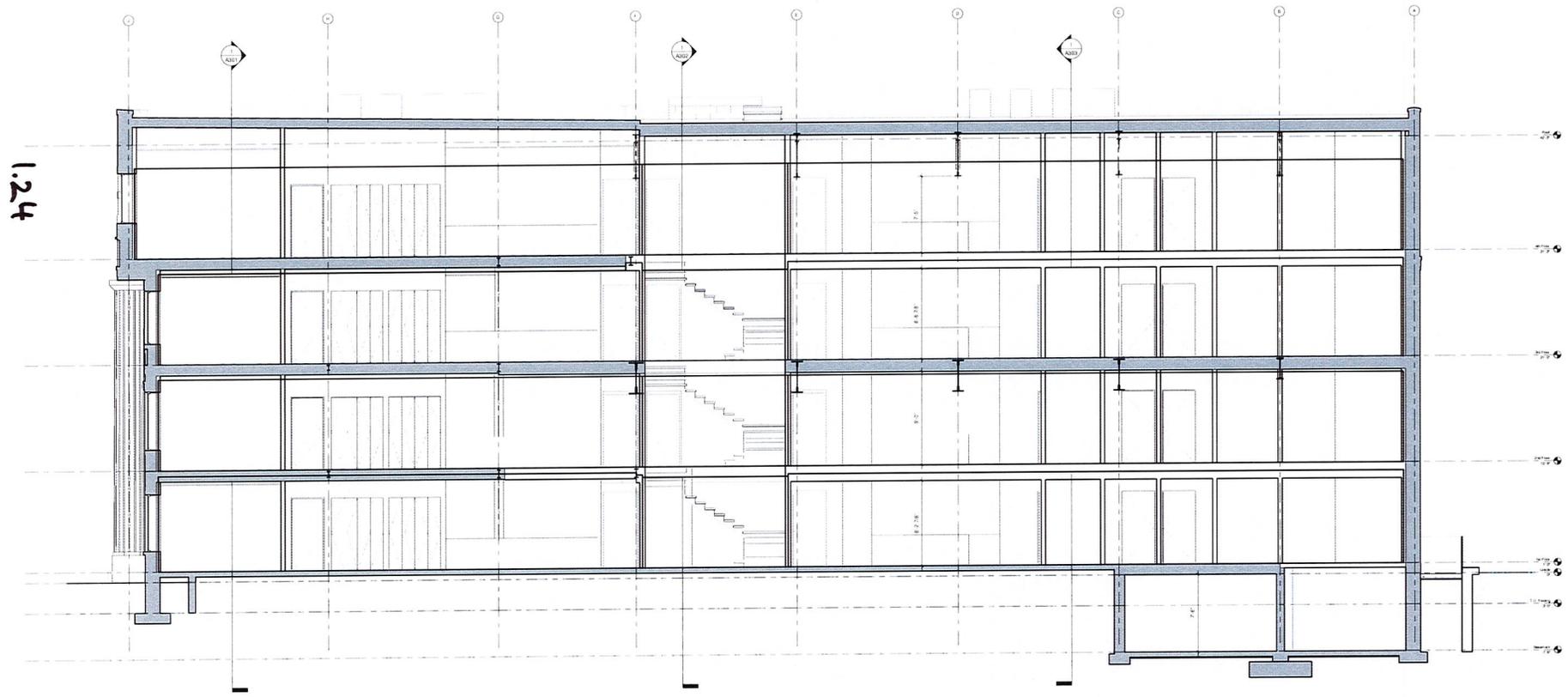
**FILORAMO**

1765 N. Elston Ave., #225, Chicago, IL  
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Print Date: 7/28/2020 4:15:17  
 Project Name:

Macninn Tammlé R.

1 E/W Section  
 1/4" = 1'-0"

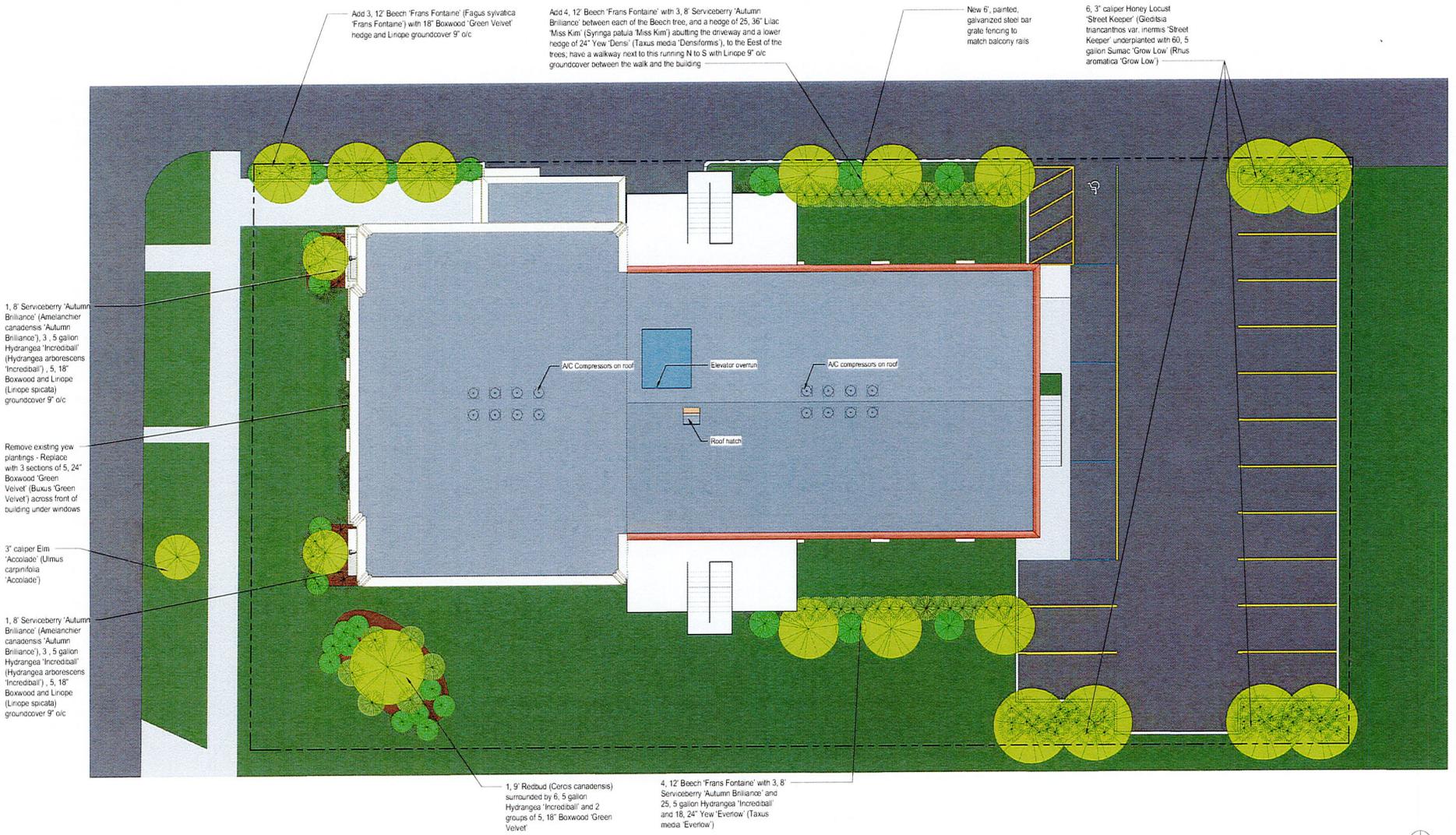


1.24

1 N/S Section  
1/4" = 1'-0"

|   |   |
|---|---|
| 1501 N. Dearborn Ave. 408 Chicago, IL 60642<br>312.467.1000<br>www.filoramotalisma.com  |   |
| <b>FILORAMO TALISMA</b><br>ARCHITECTS   | PROJECT NO. 1501-DEARBORN-001<br>SHEET NO. A304 |
| 1501 N. Dearborn Ave. 408 Chicago, IL 60642<br>312.467.1000<br>www.filoramotalisma.com<br>PROJECT NO. 1501-DEARBORN-001<br>SHEET NO. A304 |   |
| DATE: 12/20/2024 10:24 PM<br>DRAWN BY: [Name]<br>CHECKED BY: [Name]   |   |
| Masonic Temple Residences<br>1501 Dearborn Ave.   |   |
| Building Section  |   |

1.25



Add 3, 12' Beech 'Frans Fontaine' (Fagus sylvatica 'Frans Fontaine') with 18' Boxwood 'Green Velvet' hedge and Liriope groundcover 9' o/c

Add 4, 12' Beech 'Frans Fontaine' with 3, 8' Serviceberry 'Autumn Brilliance' between each of the Beech tree, and a hedge of 25, 36" Lilac 'Miss Kim' (Syringa patula 'Miss Kim') abutting the driveway and a lower hedge of 24" Yew 'Dens' (Taxus media 'Densiformis'), to the East of the trees, have a walkway next to this running N to S with Liriope 9" o/c groundcover between the walk and the building

New 6', painted, galvanized steel bar grate fencing to match balcony rails

6, 3" caliper Honey Locust 'Street Keeper' (Geolisia triancanthos var. inermis 'Street Keeper' underplanted with 60, 5 gallon Sumac 'Grow Low' (Rhus aromatica 'Grow Low')

1, 8' Serviceberry 'Autumn Brilliance' (Amelanchier canadensis 'Autumn Brilliance'), 3, 5 gallon Hydrangea 'Incrediball' (Hydrangea arborescens 'Incrediball'), 5, 18" Boxwood and Liriope (Liriope spicata) groundcover 9" o/c

Remove existing yew plantings - Replace with 3 sections of 5, 24" Boxwood 'Green Velvet' (Buxus 'Green Velvet') across front of building under windows

3" caliper Elm 'Accolade' (Ulmus carpinifolia 'Accolade')

1, 8' Serviceberry 'Autumn Brilliance' (Amelanchier canadensis 'Autumn Brilliance'), 3, 5 gallon Hydrangea 'Incrediball' (Hydrangea arborescens 'Incrediball'), 5, 18" Boxwood and Liriope (Liriope spicata) groundcover 9" o/c

A/C Compressors on roof

Elevator oversuit

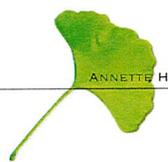
A/C compressors on roof

Roof hatch

1, 9' Redbud (Cercis canadensis) surrounded by 6, 5 gallon Hydrangea 'Incrediball' and 2 groups of 5, 18" Boxwood 'Green Velvet'

4, 12' Beech 'Frans Fontaine' with 3, 8' Serviceberry 'Autumn Brilliance' and 25, 5 gallon Hydrangea 'Incrediball' and 18, 24" Yew 'Everlow' (Taxus media 'Everlow')

Landscape Plan  
1/8" = 1'-0"



1.26



1 South Elevation  
1/4" = 1'-0"

ARC2

Masonic Temple Residences

07/28/2020

**FILORAMO TALSMA**  
ARCHITECTURE

1:27



East Elevation  
1/4" = 1'-0"

ARC4

Masonic Temple Residences

07/28/2020

**FILORAMO TALSMA**  
ARCHITECTURE

1.28



West Elevation  
1/4" = 1'-0"

ARC3

Masonic Temple Residences

07/28/2020

**FILORAMO TALSMA**  
ARCHITECTURE

1.29



Restore existing masonry as required

New, black, clad patio doors in new masonry openings per plans

New, balconies with pre-cast concrete decking and painted, steel plate railings

New, 6', painted, galvanized bar grate fence

North Elevation  
1/4" = 1'-0"

ARCS

Masonic Temple Residences

07/28/2020

**FILORAMO TALSMA**  
ARCHITECTURE

July 31, 2020

Zoning Board of Appeals  
Village of Wilmette  
1200 Wilmette Avenue  
Wilmette, IL 60091

**RE: 1010 Central (Wilmette Masonic Temple) conversion**

Dear Board members,

Below you will find the standards of review with our responses.

**Section 20-5.4.F Approval Standards for Variations**

**1.** No variation may be recommended for approval by the board or commission and approved by the Village Board unless findings have been made, based upon the evidence presented at the public hearing, to support each of the following conclusions:

- a. The particular physical conditions, shape, or surroundings of the property would impose upon the owner a practical difficulty or particular hardship, as opposed to a mere inconvenience, if the requirements of the Zoning Ordinance were strictly enforced.**

Even though we are seeking relief for height and area, we are attempting to restore an existing, treasured building and these heights and areas are existing conditions. With regard to setbacks affected by parking, we are reducing the paved area, improving the lot and providing landscaping.

- b. The plight of the property owner was not created by the owner and is due to unique circumstances.**

The existing building we are attempting to renovate has existed for a century.

- c. **The difficulty or hardship is peculiar to the property in question and is not generally shared by other properties classified in the same zoning district and/or used for the same purposes. This includes the need to accommodate desirable existing site landscape or reflect unique conditions created by the age and character of the property.**

The existing building is unique to this site.

- d. **The difficulty or hardship resulting from the application of the Zoning Ordinance would prevent the owner from making a reasonable use of the property. However, the fact the property could be utilized more profitably with the variation than without the variation is not considered as grounds for granting the variation.**

Saving the building and complying with the zoning ordinance cannot be done at the same time. Without zoning relief, the building would have to be demolished.

- e. **The proposed variation will not impair an adequate supply of light and air to adjacent property or otherwise injure other property or its use, will not substantially increase the danger of fire or otherwise endanger the public health, safety and welfare, and will not substantially diminish or impair property values within the neighborhood.**

The existing building is on a large lot and does not impair the supply of light and air to neighboring properties.

- f. **The variation, if granted, will not alter the essential character of the neighborhood and will be consistent with the goals, objectives and policies set forth in the Comprehensive Plan.**

The variation will not alter the character of the neighborhood. On the contrary, it will preserve it.

#### **Section 20-5.3.F Approval Standards for Special Uses**

2. No special use may be recommended for approval by the Zoning Board of Appeals and approved by the Village Board unless findings have been made, based upon the evidence presented at the public hearing, to support each of the following conclusions:

- a. **The proposed use in the specific location will be consistent with the goals and policies of the Comprehensive Plan.**

The proposal creates Multi-family housing at a unique price point and redevelops an underutilized property just outside of the village center.

- b. **The establishment, maintenance, or operation of the proposed use in the specific location will not be detrimental to or endanger the public health, safety and welfare.**

The proposal will not endanger welfare but instead improves it by redeveloping a vacant building.

- c. **The proposed use in the specific location will not be injurious to the use or enjoyment of other property in the neighborhood for the purposes permitted in the district.**

The proposal is a residential use within a residential district which is not incompatible.

- d. **The establishment of the special use in the specific location will not impede the normal and orderly development and improvement of surrounding properties for uses permitted in the zoning district.**

All surrounding properties are already fully developed.

- e. **The proposed use in the specific location will not substantially diminish property values in the neighborhood.**

The redevelopment and improvement of the currently vacant building would likely improve values.

- f. **Adequate utilities, road access, drainage, and other necessary facilities already exist or will be provided to serve the proposed use.**

The proposed special use will be occupying space in an existing, redeveloped, and improved building that already has adequate utilities, drainage and road access.

- g. **Adequate measures already exist or will be taken to provide ingress and egress to the proposed use in a manner that minimizes traffic congestion in the public streets.**

Since the proposed special use will be occupying space in an existing, redeveloped, and improved building that already has good ingress and egress, no improvements are needed.

- h. **The proposed use in the specific location will be consistent with the community character of the neighborhood of the parcel proposed for the special use.**

The proposed special use will exist within an existing building that is already a defining part of the area. This will remain.

- i. **Development of the proposed use will not substantially adversely affect a known archaeological, historical, or cultural resource located on or off of the proposed site.**

The proposed special use will in fact restore a historic building and will not adversely affect any known resources on or off the site

- j. **The applicant has made adequate legal provision to guarantee the provision and development of any buffers, landscaping, public open space and other improvements associated with the proposed use.**

New landscaping and buffers will be provided at the rear of the property.

- k. The proposed use will meet any and all additional use standards specified in Article 12 of the Zoning Ordinance for such a use.**

The proposed use requires some zoning variations to maintain the existing structure but will otherwise conform with the ordinance.

# CHICAGO TRIBUNE

media group

## NOTICE OF PUBLIC HEARING

Notice is hereby given that on Wednesday, August 5, 2020 at 7:00 P.M. CDT, the Zoning Board of Appeals of the Village of Wilmette will conduct a public hearing that will be broadcast only when matters listed below will be considered:

2020-Z-20 1010 Central Avenue

A request by Chris Talsma, Filorama Talsma LLC, for a special use for an Adaptive Reuse Senior Housing/55+ Development, a 0.44 floor area ratio variation, a 9.29' front yard setback variation, a 9.26' west side yard setback variation, a 9.93' height variation, an 8.77' parapet height variation, a 0.65' elevator housing height variation, a 6.03' air conditioner condenser height variation, a 2.15' rear yard (north) parking space setback variation, a 1,284 square foot (29.8%) rear yard total impervious surface coverage variation, and a 2,574 square foot (59.8%) rear yard pavement impervious surface coverage variation to permit the modification of the existing building into a 14-unit apartment development and associated site improvements on the property identified as Property Index Number 05-34-107-021-0000.



2020-Z-21 1305 Sheridan Road

A request by John Vasilion, architect, for a 455.85 square feet (22.63%) rear yard pavement impervious surface coverage variation to permit a modification to an existing attached garage on the property identified as Property Index Number 05-27-403-008-0000.

2020-Z-22 1111 Sheridan Road

A request by Charles Hatsis for a special use for unusual recreation equipment and a 13' rear yard of a double-frontage lot setback variation to permit the retention of a batting cage on the property identified as Property Index Number 05-27-412-008-0000.

This meeting will be held remotely by the Zoning Board of Appeals. The meeting will be broadcast live at <https://www.youtube.com/user/villageofwilmette/live> and on Channel 6 and then published on the Village's website. To participate in the meeting, please contact the Community Development Department prior to the meeting at [comdev@wilmette.com](mailto:comdev@wilmette.com) or (847) 853-7529 for instructions. Written comments may be submitted to [comdev@wilmette.com](mailto:comdev@wilmette.com).

Reinhard Schneider, Chairman

Brad Falkof  
John Kolleng  
Christine Nörrick

Chicago Tribune - [chicagotribune.com](http://chicagotribune.com)  
160 N Stetson Avenue, Chicago, IL 60601  
(312) 222-2222 - Fax: (312) 222-4014

# CHICAGO TRIBUNE

media group

Ryrie Pellaton  
Bob Surman  
Maria Choca Urban

(Constituting the Zoning Board  
of Appeals of the Village of Wil-  
mette, Illinois)

7/16/2020 6718636



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 P 312-565-0450  
 F 315-565-2497

## Memorandum

**TO:** Daniel Manis, PE  
 Village Engineer  
 Village of Wilmette, IL

**FROM:** Jill Hayes, PE

**SUBJECT:** 1010 Central Ave (Masonic Temple Residences) Parking Study

**DATE:** July 1, 2020

### INTRODUCTION

Alfred Benesch & Company was retained by the Village of Wilmette to prepare a parking analysis related to the proposed redevelopment of 1010 Central Avenue. The former Wilmette Masonic Temple (currently unused) will be renovated to accommodate age-restricted (55+) apartments.

### EXISTING CONDITIONS

The site is located at 1010 Central Avenue between 10<sup>th</sup> Street and 11<sup>th</sup> Street. The Wilmette Masonic Temple sits on the north side of Central Avenue adjacent to a 20-foot public alley which provides access to off street parking for the temple and other units which front 10<sup>th</sup> and 11<sup>th</sup> Streets. The gross building area is 21,284 SF over four floors.

The development proposes 18 dedicated off street parking spaces which are accessed from the alley. Some of these spaces are currently leased by the Village of Wilmette for use as overflow parking for businesses in downtown Wilmette. Little actual use of these spaces has been observed by either Village staff or the Consultant. On Central Avenue, parallel parking is allowed on the north side starting in front of the Masonic Temple and continuing to the east and for the full block on the south side of the road. This parking is restricted to a maximum of two hours (Monday to Saturday, 8 AM to 6 PM).

Central Avenue is classified as a minor collector and has one 12-foot travel lane in each direction. The posted speed limit (PSL) is 25 miles per hour (mph). There is a 5-foot sidewalk on both sides of the street and no marked bike lanes.

### PROPOSED USE

The building is proposed to be converted to residential apartments for persons aged 55 and older. The existing structure will remain in place and the interior will be reconfigured to create 16 total units. Each unit will be allocated one parking space.

### TRIP GENERATION

The proposed apartments are a reuse of an existing institutional building. The trip generation for the Masonic Temple was estimated using the Institute of Transportation Engineers (ITE) Trip Generation Manual (10<sup>th</sup> Edition). Because there is no Land Use Code (LUC) for club or lodge, which is the last lawful use of the building, engineering judgement was used to select LUC 560 (Church) as having



similar characteristics to the Temple. The decision is based on the ITE description for LUC 560 which states that “a church houses an assembly hall or sanctuary; it may also house meeting rooms, classrooms and, occasionally, dining, catering or party facilities.” Based on this LUC, the Masonic Temple generated 148 daily trips, seven AM peak hour trips and ten PM peak hour trips.

Trip generation of the proposed apartments is estimated using LUC 252, Senior Adult Housing – Attached. The apartments are expected to generate 59 daily trips, three AM peak hour trips and four PM peak hour trips.

The weekday daily, AM and PM peak hour trip generation for both uses is provided in the table below. The average rate was used for all time periods. When the two LUCs are compared, the net trip generation is negative, indicating that the residential use will have a lower vehicular impact to the surrounding streets.

Printouts of the trip generation sheets are provided in Attachment A.

***Trip Generation***

| LUC                        | Description                     | Units | No.    | Daily       | AM         | PM         |
|----------------------------|---------------------------------|-------|--------|-------------|------------|------------|
| Existing Use               |                                 |       |        |             |            |            |
| 560                        | Church                          | GFA   | 21,284 | 148         | 7          | 10         |
| Proposed Use               |                                 |       |        |             |            |            |
| 252                        | Senior Adult-Housing – Attached | DU    | 16     | 59          | 3          | 4          |
| <b>Net Trip Generation</b> |                                 |       |        | <b>(89)</b> | <b>(4)</b> | <b>(6)</b> |

**TRAFFIC IMPACTS**

As stated above, the proposed residential development is anticipated to generate fewer trips than the previous use. However, in recent years the building has not been used for its original purpose and has been vacant or sporadically used for special events. Therefore, the trip generation and parking impacts of the current use are lower than the original use. Based on this, the proposed residential use will produce an increase in vehicular traffic to the surrounding streets.

To gauge the current capacity of Central Avenue, a July 2019 traffic volume count for Central Avenue at 5<sup>th</sup> Street was provided by the Village of Wilmette. The count volumes are generally considered current for one to two years. The eastbound direction on Central Avenue has an average daily trip (ADT) volume of 1,204 vehicles per day. The westbound direction has an ADT of 1,237 vpd for a total ADT of 2,441 vpd.

Based on a two-lane section with a maximum ADT of 5,000 vpd or less, Central Avenue has adequate reserve capacity to accommodate trips generated by the proposed development. In addition, as the site is currently being utilized for public parking, the difference in trips should be minor.



## **PARKING ANALYSIS**

The number of required off-street parking spaces for the proposed development is determined as per the Village of Wilmette Code of Ordinances, Article 30-14 - Off-Street Parking and Loading, Sec. 30-14.9. Referring to Table 14-1, Off-Street Parking Requirements, one parking space per dwelling unit is required for the *Adaptive Reuse Senior Housing/55+* use.

Eighteen (18) parking spaces (including one accessible space) are proposed in the existing off site parking lot. This number exceeds the requirements of the zoning ordinance.

There is two-hour on street parking (Monday through Saturday, 8 AM - 6 PM) in front of the building which may be utilized by visitors and delivery vehicles. Short term deliveries may also utilize the alley. Additional parking needs may be accommodated using the designated on street parking areas in the surrounding neighborhood. The table on the following page identifies the location of nearby on street parking as well as any time or permit restrictions.

## **SITE PLAN ANALYSIS**

The parking area for the proposed Masonic Temple Residences includes 14, 90° parking spaces and four parallel parking spaces located on the north side of the building. The geometric layout of the spaces is acceptable at a minimum of functionality. Oversized vehicles will have difficulty maneuvering within the parking lot.

The location of the accessible parking space requires that users transit the alley to reach the main entrance, an accommodation which may not provide an acceptable path. Consideration should be given to swapping the location of the dumpsters and the accessible parking space. As per the architectural plans, there is a building egress adjacent to the proposed dumpster area which would provide a more direct route to the interior for mobility impaired users.

## **MULTIMODAL ACCESS**

The main entrance to the building is located on the west side of the building. From the parking area, the most direct pedestrian path between the entrance and the parking lot is by traversing the 20' concrete alley for approximately 125 feet as there is no sidewalk adjacent to the building. An exterior staircase on the north side of the building provides a secondary access via the balconies to all of the units on the upper floors.

Pedestrian and bicycle access to the building from Central Avenue is provided by a direct sidewalk connection from the main entrance on the west side of the building to the sidewalk along the north side of the road.

For new construction, Sec. 30-14.12 of the Zoning Code requires bicycle parking for residents and visitors where off-street parking facilities are provided. As per Table 14-4, Required Bicycle Parking, a minimum of two spaces should be provided. Although this is a reuse of an existing structure, a 158 SF bicycle storage area is provided on the first floor of the building. There is a direct exterior access to the alley and an interior access to the main corridor and elevator. The addition of outdoor bicycle parking which is accessible to non-residents is recommended.

***Parking Restrictions***

| <b>Street</b>  | <b>Location</b>   | <b>Restrictions</b>  | <b>Notes</b>  |
|--|-------------------|--|---|
| Central Ave (10 <sup>th</sup> St to 11 <sup>th</sup> St)   | South Side        | 2 hr parking, Mon-Sat, 8 AM - 6 PM<br>Snow restrictions                        |   |
|  | North Side        | 2 hr parking, Mon-Sat, 8 AM - 6 PM<br>Snow restrictions                        | No parking west of Masonic Temple building.                         |
| Central Ave (East of 10 <sup>th</sup> St)                  | North Side        | School Zone  |   |
|  | South Side        | No parking, 2 AM – 5 AM  |   |
| 10 <sup>th</sup> St (North of Central Ave)                 | East Side         | No parking except in angle parking spaces                                      |   |
|  | West Side         | Parking allowed on most of the west side, no restrictions posted (except snow) |   |
| 10 <sup>th</sup> St (South of Central Ave)                 | East Side         | No parking   |   |
|  | West Side         | No parking in front of Temple  | Minimal no. of unrestricted spaces available at south end of street |
| 11 <sup>th</sup> St (North of Central Ave)                 | East Side         | 2 hr parking, Zone 1, Mon-Sat, 8 AM -5 PM                                      |   |
|  | West Side         | No parking   | Public parking lots available along west side of street             |
| 11 <sup>th</sup> St (South of Central Ave)                 | East Side         | No parking   |   |
|  | West Side         | No parking, 2 AM – 5 AM, Zone 1  |   |
| Lake Ave (10 <sup>th</sup> St to 11 <sup>th</sup> St)      | North/South Sides | No parking   |   |
| Greenleaf Ave (10 <sup>th</sup> St to 11 <sup>th</sup> St) | North/South Sides | No parking, 2 AM – 5 AM<br>No parking, 8 AM – 10 AM except with permit         |   |



## **COORDINATION WITH ADJACENT PROJECTS**

Central Avenue will undergo full reconstruction starting in 2020 and continuing through September 2021. The project proposes no changes to this block of Central Ave. Utility work for the development should be coordinated with the reconstruction project.

## **SUMMARY**

This review was conducted utilizing site and architectural plans provided by the developer and the Village of Wilmette. A field review was also conducted. The following summary is based on this information as well as interpretation of the Zoning Code and engineering judgement.

- The Masonic Temple Residences will provide 18 off-street parking spaces which meets the requirements of the Village of Wilmette Zoning Code.
- Projected vehicle trips from the redevelopment will have a minimal impact on the capacity of Central Avenue.

The following items are recommended for consideration:

- Swap the location of the dumpsters and the accessible parking space.
- Provide outdoor bicycle parking which is accessible to non-residents.

**ATTACHMENT A**  
**Trip Generation**

---

**LUC 560 (Church)**

# Land Use: 560 Church

## Description

A church is a building in which public worship services are held. A church houses an assembly hall or sanctuary; it may also house meeting rooms, classrooms, and, occasionally, dining, catering, or party facilities. Synagogue (Land Use 561) and mosque (Land Use 562) are related uses.

## Additional Data

Worship services are typically held on Sundays. Some of the surveyed churches offered day care or extended care programs during the week.

The peak hours for the sites have a direct relation to the schedule for church services. For the sites with time-of-day data, the Sunday peak hours included the 60-minute periods beginning with 8:45 a.m., 9:00 a.m., 10:45 a.m., and 5:00 p.m.

The sites were surveyed in the 1980s, the 1990s, the 2000s, and the 2010s in Alberta (CAN), California, Colorado, Florida, New Hampshire, New Jersey, New York, Oregon, Pennsylvania, Texas, and Virginia.

## Source Numbers

169, 170, 423, 428, 436, 554, 571, 583, 629, 631, 704, 903, 904, 957, 971, 981

# Church (560)

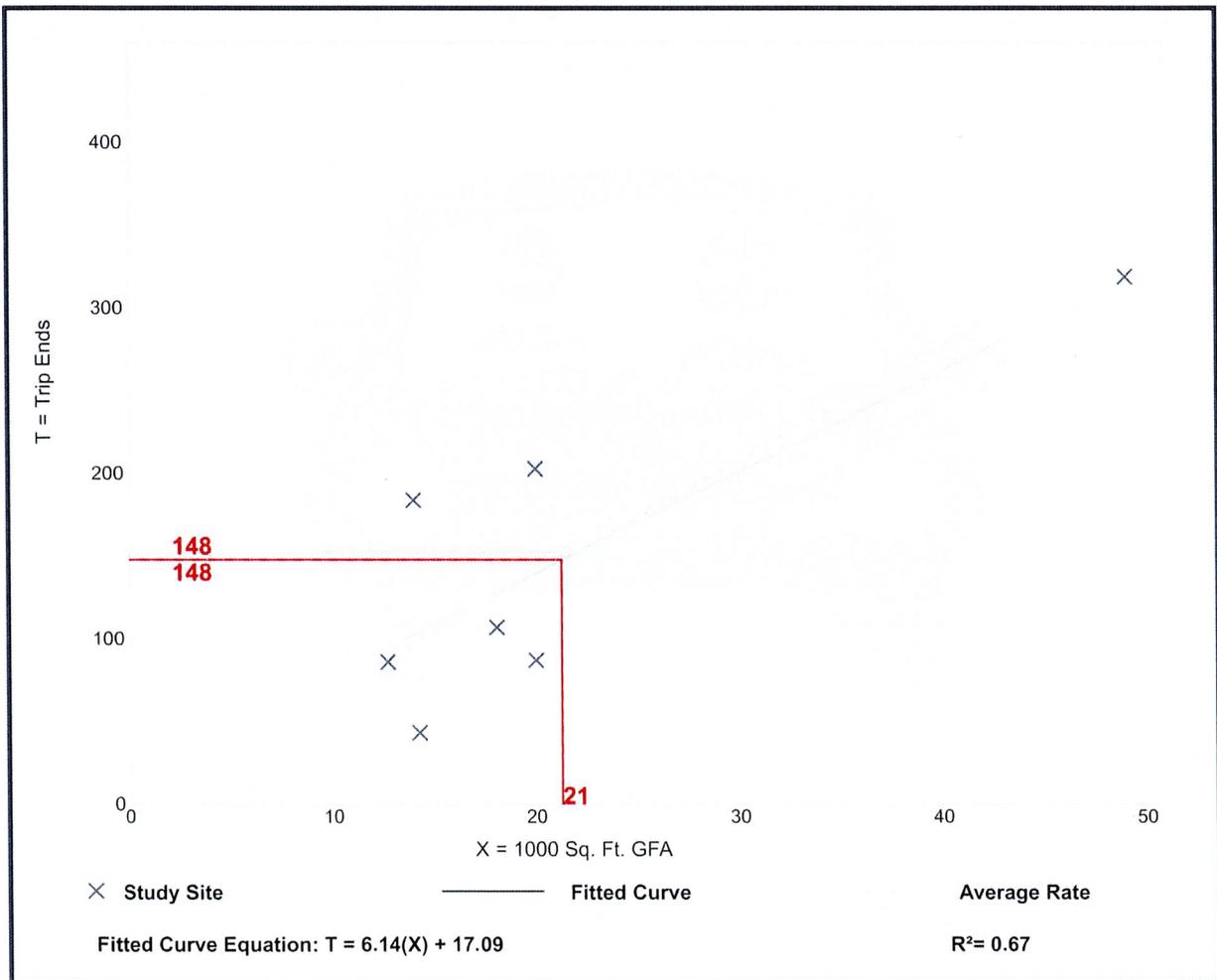
**Vehicle Trip Ends vs: 1000 Sq. Ft. GFA**  
**On a: Weekday**

**Setting/Location: General Urban/Suburban**  
Number of Studies: 7  
Avg. 1000 Sq. Ft. GFA: 21  
Directional Distribution: 50% entering, 50% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

| Average Rate | Range of Rates | Standard Deviation |
|--------------|----------------|--------------------|
| 6.95         | 3.01 - 13.14   | 2.98               |

## Data Plot and Equation



*Trip Gen Manual, 10th Edition • Institute of Transportation Engineers*

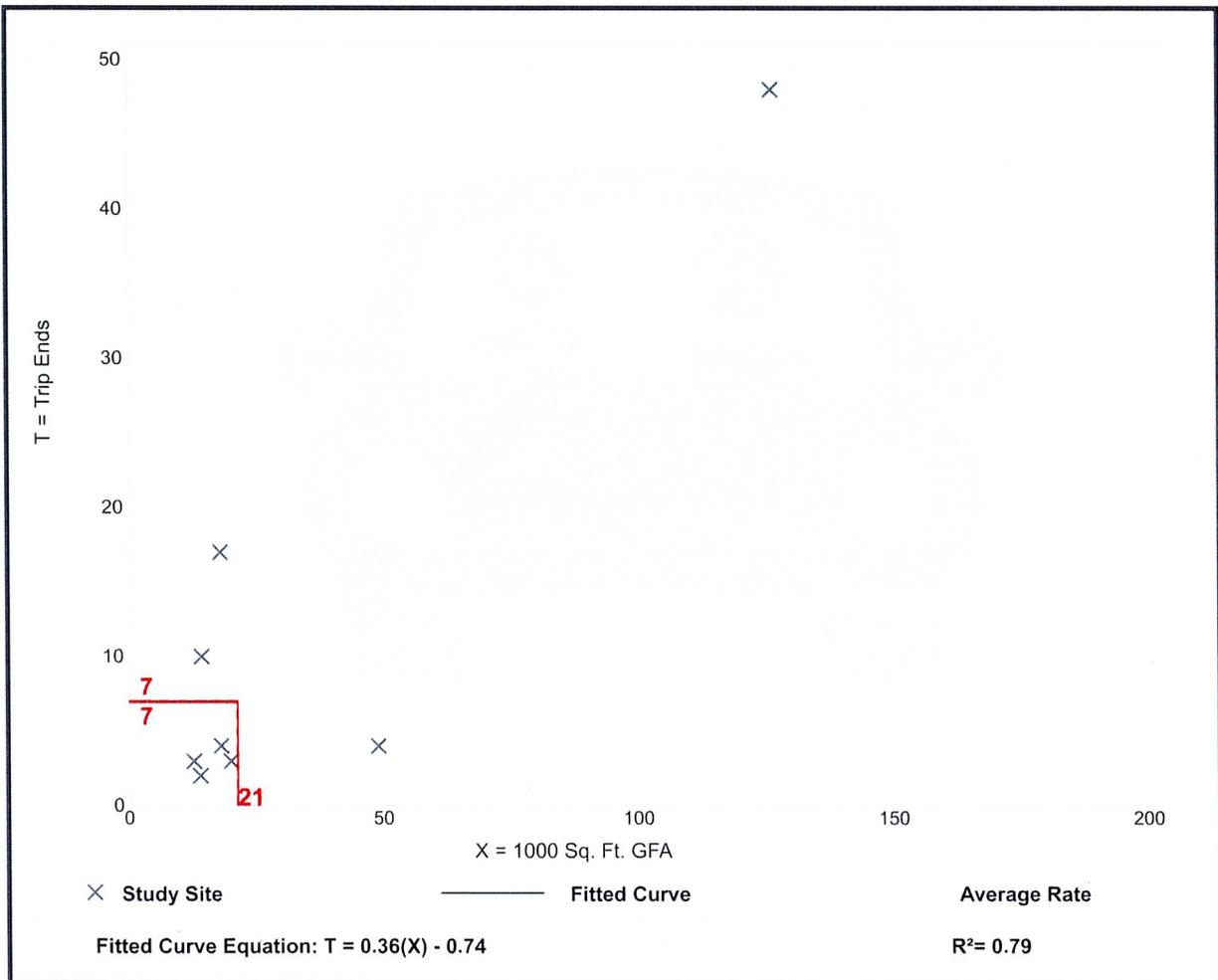
# Church (560)

**Vehicle Trip Ends vs: 1000 Sq. Ft. GFA**  
**On a: Weekday,**  
**Peak Hour of Adjacent Street Traffic,**  
**One Hour Between 7 and 9 a.m.**  
**Setting/Location: General Urban/Suburban**  
 Number of Studies: 8  
 Avg. 1000 Sq. Ft. GFA: 34  
 Directional Distribution: 60% entering, 40% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

| Average Rate | Range of Rates | Standard Deviation |
|--------------|----------------|--------------------|
| 0.33         | 0.08 - 0.94    | 0.24               |

## Data Plot and Equation



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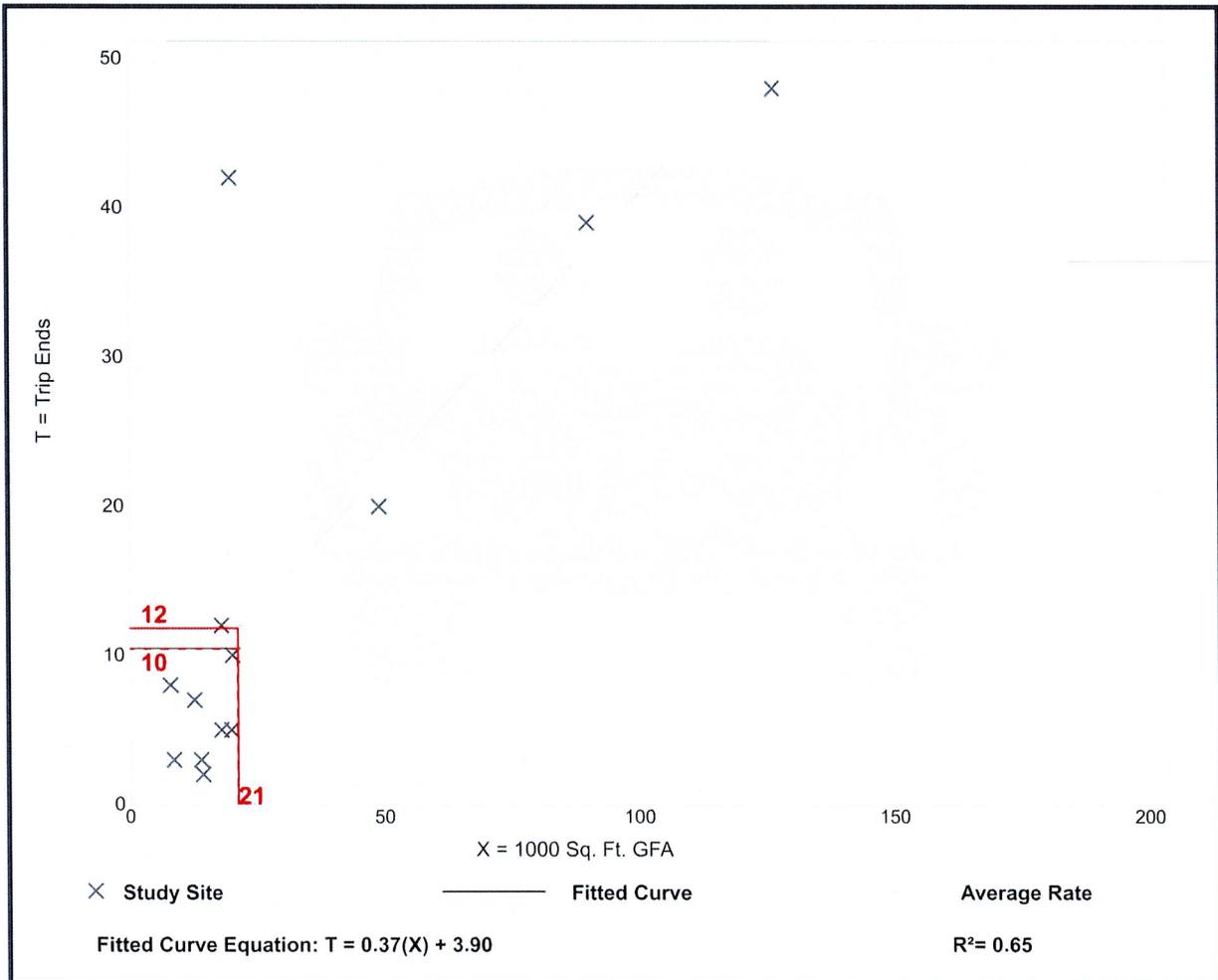
# Church (560)

**Vehicle Trip Ends vs: 1000 Sq. Ft. GFA**  
**On a: Weekday,**  
**Peak Hour of Adjacent Street Traffic,**  
**One Hour Between 4 and 6 p.m.**  
**Setting/Location: General Urban/Suburban**  
 Number of Studies: 13  
 Avg. 1000 Sq. Ft. GFA: 32  
 Directional Distribution: 45% entering, 55% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

| Average Rate | Range of Rates | Standard Deviation |
|--------------|----------------|--------------------|
| 0.49         | 0.14 - 2.10    | 0.40               |

## Data Plot and Equation



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**LUC 252 (Senior Adult-Housing – Attached)**

# Senior Adult Housing - Attached (252)

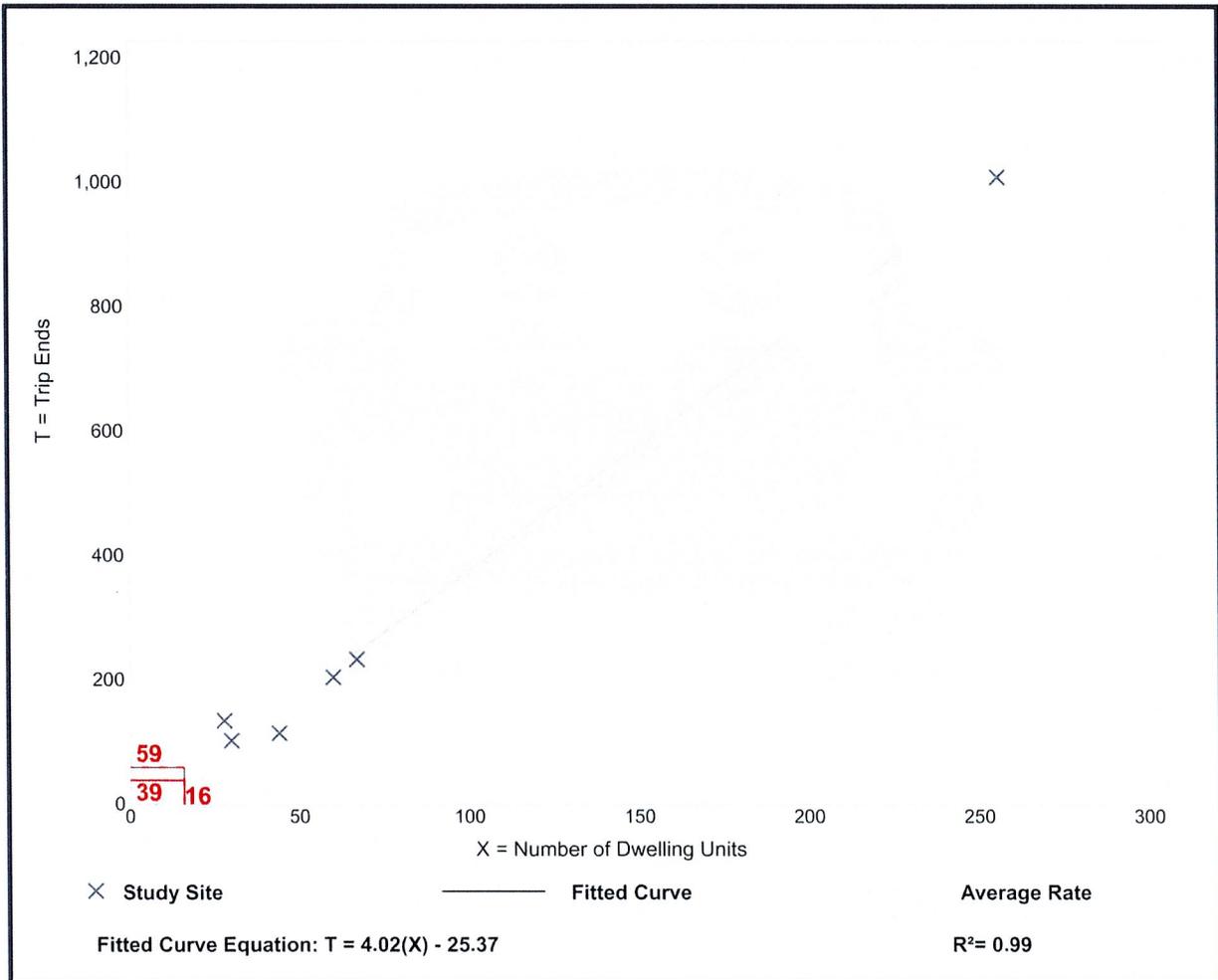
**Vehicle Trip Ends vs: Dwelling Units**  
**On a: Weekday**

**Setting/Location: General Urban/Suburban**  
Number of Studies: 6  
Avg. Num. of Dwelling Units: 81  
Directional Distribution: 50% entering, 50% exiting

### Vehicle Trip Generation per Dwelling Unit

| Average Rate | Range of Rates | Standard Deviation |
|--------------|----------------|--------------------|
| 3.70         | 2.59 - 4.79    | 0.53               |

### Data Plot and Equation



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## Senior Adult Housing - Attached (252)

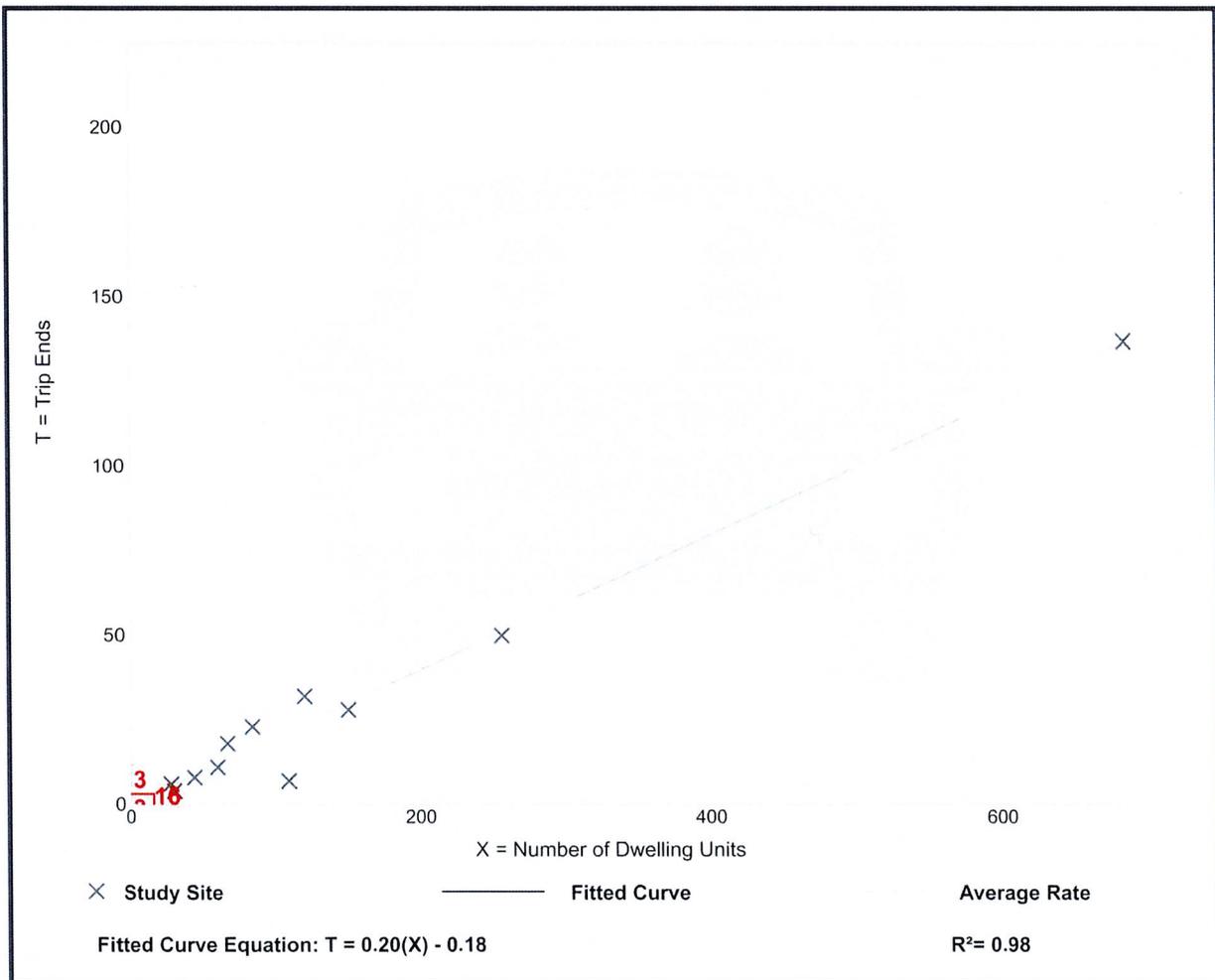
Vehicle Trip Ends vs: Dwelling Units  
 On a: Weekday,  
 Peak Hour of Adjacent Street Traffic,  
 One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban  
 Number of Studies: 11  
 Avg. Num. of Dwelling Units: 148  
 Directional Distribution: 35% entering, 65% exiting

### Vehicle Trip Generation per Dwelling Unit

| Average Rate | Range of Rates | Standard Deviation |
|--------------|----------------|--------------------|
| 0.20         | 0.06 - 0.27    | 0.05               |

### Data Plot and Equation



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## Senior Adult Housing - Attached (252)

**Vehicle Trip Ends vs: Dwelling Units**  
**On a: Weekday,**  
**Peak Hour of Adjacent Street Traffic,**  
**One Hour Between 4 and 6 p.m.**

**Setting/Location: General Urban/Suburban**

Number of Studies: 11

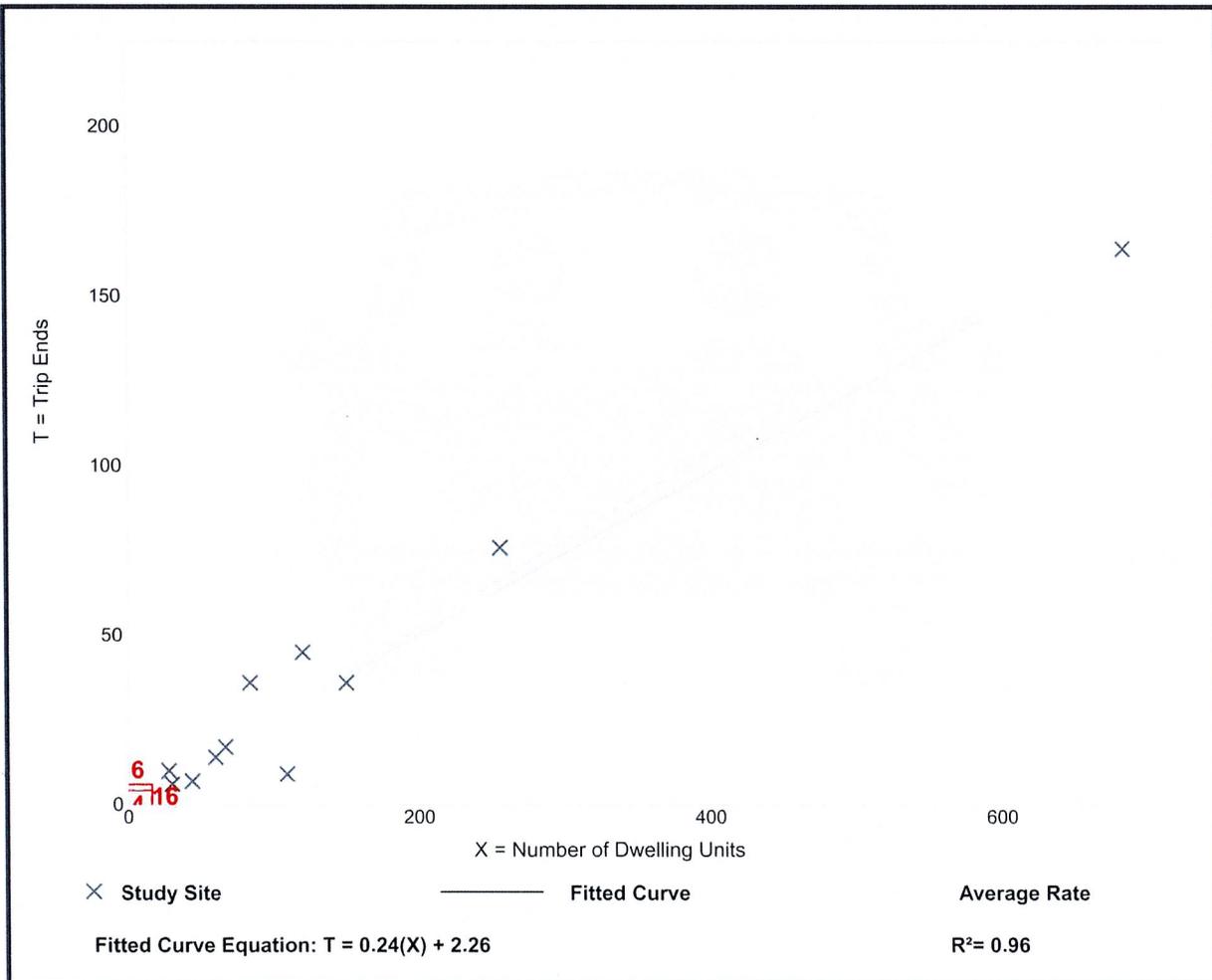
Avg. Num. of Dwelling Units: 148

Directional Distribution: 55% entering, 45% exiting

### Vehicle Trip Generation per Dwelling Unit

| Average Rate | Range of Rates | Standard Deviation |
|--------------|----------------|--------------------|
| 0.26         | 0.08 - 0.43    | 0.08               |

### Data Plot and Equation



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## Roberts, Lisa

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**From:** Mark Teasdale <drteasdale@yahoo.com>  
**Sent:** Tuesday, July 14, 2020 3:59 PM  
**To:** Roberts, Lisa  
**Cc:** Sivertsen, Lucas  
**Subject:** BK Wilmette Lodge, 1010 Central Avenue Neighbor Comments

Thank you for the opportunity to address the pending renovations to the Lodge.

My name is Mark Teasdale. My family and I live at 1004 Central Avenue, directly across the small green area to the east of the lodge. We are pleased that the lodge is going to be renovated. This can only be a benefit to the block and local property values. At the same time, with our proximity to the property, we have several questions:

1) How long are the external renovations planned to take? How long until the entire project is completed?

2) In light of the simultaneous work that is planned for Central Avenue, how will traffic issues around the worksite be addressed?

3) How will neighbors be protected from the work site becoming a nuisance? Specifically:

- What will be done to address dust abatement? In the past, we have experienced significant increases in dust, even requiring additional cleaning for our property, when even modest levels of masonry dust have been generated by neighbors renovating. If abatement efforts prove unsuccessful, will the owners of the lodge provide for professional cleaning of neighboring houses?

- What will be done to address noise abatement? Given the pandemic, I will be working at home through the balance of 2020. As a professor, this includes teaching live online courses and attending administrative meetings. My wife also works from home and, depending on school schedules, my children may be e-learning. Given this, we are concerned about noise during regular working hours. Likewise, we are concerned about our leisure time being disrupted by evening and weekend work. Is there a way that neighbors can at least be notified a day ahead of particularly noisy outside work with the option to negotiate when those days might take place?

- How will our property be secured from unwanted intrusion? There have already been people coming to look at the lodge, presumably to draw plans, who have felt comfortable walking on our driveway, speaking loudly on cell phones while standing directly in front of our house on our property. We would like assurances that our property will not be seen as accessible staging space simply because it abuts the lodge's property?

4) This is a very specific question: will the two trees that sit at the eastern edge of the property in front of 1004 and 1006 Central Avenue be removed? I request that these trees be removed. We had asked the Masons to remove them, but they said they could not afford to have the work done. We have already spent nearly \$1000 having the parts of these trees that overhang our properties trimmed back because they had branches overhanging our roofs. The one tree also leans toward our property and harbors carpenter ants. In addition, the trees routinely clog our gutters. We would be grateful if the new owners would remove these trees since they are only a nuisance to the neighbors and will not add anything to their landscaping.

5) Is there a foreman or other person that neighbors can contact if there are issues that arise during the renovations? It would be a great help if this person could make a point of contacting the neighbors so we can all introduce ourselves to each other. It would also help humanize this process and improve communication.

I realize that these are challenging questions. I do not mean to be combative. My hope is to be a good neighbor for the new lodge owners, and by laying out our concerns at the outset I hope to establish a strong basis of communication throughout the renovation that will allow just that to happen. We wish the new owners every success in their efforts.

Best,  
Mark Teasdale

**ORDINANCE NO. 2020-O-36**

**AN ORDINANCE AUTHORIZING SPECIAL USE AND VARIATIONS PURSUANT TO  
THE WILMETTE ZONING ORDINANCE  
(1010 Central Avenue)**

**WHEREAS**, Chris Talsma, Filoramo Talsma LLC (“Applicant”) has submitted a request to permit a special use under Section 5.3 of the Zoning Code and for certain variations from Section 8.2, Section 8.3, Section 8.3.E, Section 13.5.A, Section 13.5.C, Section 14.4.A.4 and Section 14.4.A.7 of the Zoning Code. Specifically, Applicant requests a special use for an Adaptive Reuse Senior Housing/55+ Development (the “Special Use”) and a 0.57 floor area ratio variation, a 9.29’ front yard setback variation, a 9.26’ west side yard setback variation, a 6.74’ west side yard stair setback variation, 3.74’ a west side yard deck setback variation, a 9.93’ height variation, an 8.77’ parapet height variation, a 0.65’ elevator housing height variation, a 6.03’ air conditioner condenser height variation, a 2.15’ rear yard (north) parking space setback variation, a 1,284 square foot (29.8%) rear yard total impervious surface coverage variation, a 2,574 square foot (59.8%) rear yard pavement impervious surface coverage variation and a variation from the requirement that 50% of the required parking spaces be enclosed (“Requested Variations”) to permit the modification of the existing building into a 16-unit apartment development and associated site improvements upon the subject property commonly known as 1010 Central Avenue, Wilmette, Cook County, Illinois, and legally described as:

Lot 32 in Block 1, together with the south 1/2 of the vacated east-west alley located north of and adjoining said Lot 32, in United Realty Company’s Glenayre Garden, being a subdivision of part of the west 44 acres of the north 1/2 of the southeast 1/4; also part of the east 10 acres of the northeast 1/4 of the southwest 1/4, all in Section 31 Township 42 North Range 13 East of the Third Principal Meridian, also a strip of land being the proportionate share of the surplus in the north 1/4 of the southeast 1/4 appurtenant to part of the west 44 acres aforesaid, in Cook County, Illinois.

**WHEREAS**, the Zoning Board of Appeals, after giving due and proper notice as required by law, held a public hearing on August 5, 2020, on the foregoing application and request for a Special Use

and Requested Variations, and thereafter filed with the President and Board of Trustees of the Village a report accompanied by findings of fact specifying the reasons for the report and recommending granting the requested relief, in accordance with the plans as submitted, and on the condition that the Special Use shall run with the use and shall not run with the land, and that all other requirements of the Zoning and Building Ordinances be complied with;

**NOW, THEREFORE, BE IT ORDAINED** by the President and Board of Trustees of the Village of Wilmette, Cook County, Illinois:

**SECTION 1:** The foregoing findings and recitals are hereby made a part of this Ordinance and are incorporated by reference as if set forth verbatim herein.

**SECTION 2:** The aforementioned report and recommendation of the Zoning Board of Appeals of this Village is concurred with and approved and the Special Use and Requested Variations are hereby granted. The Special Use shall run with the use and not run with the land.

**SECTION 3:** The Director of Community Development of the Village of Wilmette, Illinois, hereby is authorized and directed to issue the necessary permits to allow the proposed construction, in accordance with the plans as submitted at the public hearing, and that all other requirements of the Zoning and Building Ordinances be complied with.

**SECTION 4:** This Ordinance shall be in full force and effect from and after its passage and approval as required by law.

**PASSED** by the President and Board of Trustees of the Village of Wilmette, Illinois, on the **25<sup>th</sup>** day of August 2020, according to the following roll call vote:

**AYES:** None.  
**NAYS:** None.  
**ABSTAIN:** None.  
**ABSENT:** None.

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Clerk of the Village of Wilmette, IL

**APPROVED** by the President of the Village of Wilmette, Illinois, this **25<sup>th</sup>** day of **August**  
**2020.**

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President of the Village of Wilmette, IL

**ATTEST:**

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Clerk of the Village of Wilmette, IL